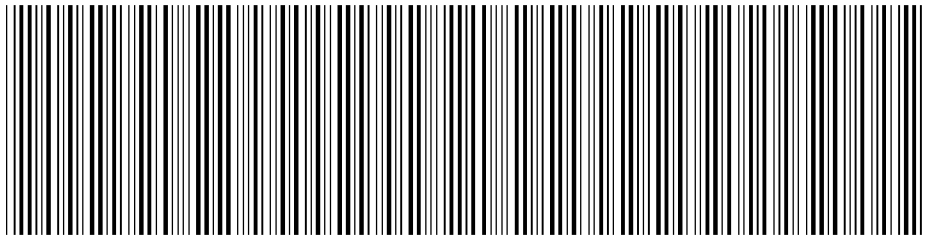


**NYC DEPARTMENT OF FINANCE  
OFFICE OF THE CITY REGISTER**

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**RECORDING AND ENDORSEMENT COVER PAGE**

**PAGE 1 OF 149**

**Document ID: 2015031201076001** Document Date: 03-05-2015 Preparation Date: 03-12-2015  
Document Type: SUNDRY MISCELLANEOUS  
Document Page Count: 147

**PRESENTER:**

NEW YORK CITY ECONOMIC DEVELOPMENT CORPORATION  
110 WILLIAM STREET  
NEW YORK, NY 10038  
212-312-3825  
LEGALADMIN.ASSISTANTS@NYCEDC.COM

**RETURN TO:**

THE NEW YORK CITY LAW DEPARTMENT  
100 CHURCH STREET  
NEW YORK, NY 10007  
212-356-2065  
cwu@law.nyc.gov

**PROPERTY DATA**

Borough	Block	Lot	Unit	Address
MANHATTAN	409	56	Entire Lot	236 BROOME STREET

**Property Type:** OTHER

Borough	Block	Lot	Unit	Address
MANHATTAN	352	1	Entire Lot	80 ESSEX STREET

**Property Type:** COMMERCIAL REAL ESTATE

Additional Properties on Continuation Page

**CROSS REFERENCE DATA**

CRFN \_\_\_\_\_ or DocumentID \_\_\_\_\_ or \_\_\_\_\_ Year \_\_\_\_\_ Reel \_\_\_\_\_ Page \_\_\_\_\_ or File Number \_\_\_\_\_

**PARTIES**

**PARTY 1:**

THE CITY OF NEW YORK  
CITY HALL, 1 CENTRE STREET  
NEW YORK, NY 10007

**FEES AND TAXES**

**Mortgage :**

Mortgage Amount: \$ 0.00

Taxable Mortgage Amount: \$ 0.00

Exemption:

TAXES: County (Basic): \$ 0.00

City (Additional): \$ 0.00

Spec (Additional): \$ 0.00

TASF: \$ 0.00

MTA: \$ 0.00

NYCTA: \$ 0.00

Additional MRT: \$ 0.00

**TOTAL:** \$ 0.00

Recording Fee: \$ EXEMPT

Affidavit Fee: \$ 0.00

Filing Fee:

\$ 0.00

NYC Real Property Transfer Tax:

\$ 0.00

NYS Real Estate Transfer Tax:

\$ 0.00

**RECORDED OR FILED IN THE OFFICE**

**OF THE CITY REGISTER OF THE**

**CITY OF NEW YORK**

Recorded/Filed 03-19-2015 13:05

City Register File No.(CRFN):

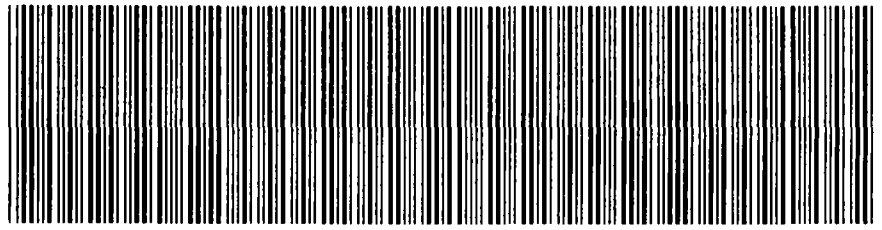
**2015000094319**



*Annette McMill*

**City Register Official Signature**

NYC DEPARTMENT OF FINANCE  
OFFICE OF THE CITY REGISTER



2015031201076001001CE862

**RECORDING AND ENDORSEMENT COVER PAGE (CONTINUATION) PAGE 2 OF 149**

Document ID: 2015031201076001 Document Date: 03-05-2015 Preparation Date: 03-12-2015  
Document Type: SUNDRY MISCELLANEOUS

**PROPERTY DATA**

Borough	Block Lot	Unit	Address
MANHATTAN	346 40 Partial Lot		135 DELANCEY STREET
Property Type: OTHER			
Borough	Block Lot	Unit	Address
MANHATTAN	347 71 Entire Lot		178 BROOME STREET
Property Type: OTHER			

**DECLARATION OF LARGE-SCALE GENERAL DEVELOPMENT**

**NEW YORK COUNTY**

<b>BLOCK</b>	<b>LOT</b>
<b>409</b>	<b>56</b>
<b>352</b>	<b>1 and 28</b>
<b>346</b>	<b>40</b>
<b>347</b>	<b>71</b>

**RECORD AND RETURN TO:**

**New York City Law Department  
100 Church Street  
New York, New York 10007  
Attention: Chief, Economic Development Division**

**DECLARATION OF LARGE-SCALE GENERAL DEVELOPMENT**

THIS DECLARATION OF LARGE-SCALE GENERAL DEVELOPMENT ("**Declaration**"), made as of the 5<sup>th</sup> day of March, 2015, by the CITY OF NEW YORK (the "**City**"), a municipal corporation, acting by and through its Department of Housing Preservation and Development ("**HPD**") with an address at 100 Gold Street, New York, New York 10038 (the "**Declarant**").

**WITNESSETH:**

WHEREAS, the City is the fee owner of certain real property located in the Borough of Manhattan, County of New York, City and State of New York, designated for real property tax purposes as Block 409, Lot 56 ("**Site 1**"), Block 352, Lots 1 and 28 ("**Site 2**"), Block 346, p/o Lot 40 ("**Site 3**"), Block 346, p/o Lot 40 ("**Site 4**"), Block 346, p/o Lot 40 ("**Site 5**"), and Block 347, Lot 71 ("**Site 6**"), which real property is more particularly described in Exhibit A annexed hereto and made a part hereof (each a "**Site**" and together, the "**Subject Property**"); and

WHEREAS, the City desires that its successor(s) in interest to the Subject Property ("**Successor Declarant(s)**") improve the Subject Property as a "large-scale general development" meeting the requirements of Section 12-10 of the Zoning Resolution of the City of New York (the "**Zoning Resolution**" or "**ZR**") definition of "large-scale general development" (such proposed improvement of the Subject Property, the "**Large Scale Development Project**"); and

WHEREAS, HPD filed an application with the New York City Department of City Planning (hereinafter “**DCP**”) pursuant to Section 197-c of the City Charter for: (1) disposition of Sites 1 through 6 and other sites by the City for the purpose of subsequent development (C 120145 PPM); (2) designation of Sites 1 through 6 and other sites as an Urban Development Action Area Project (N 120236 HAM); (3) acquisition of a portion of Site 2 for the sole purpose of a relocated Essex Street Market (C 120237 PQM); (4) a zoning map amendment for a C2-5 commercial overlay on Sites 3, 4, 5 and 6 (C 120226 ZMM) (the “**Zoning Map Amendment**”); (5) a large-scale general development special permit pursuant to ZR Section 74-743, applicable to Sites 1 through 6, to (i) allow for distribution of floor area, lot coverage and dwelling units without regard to zoning lot lines or district boundaries and (ii) allow waivers of height and setback, minimum base height, rear yard, rear yard equivalent, and rear yard setback requirements, minimum distance between legally required windows and any wall in an inner court, outer court, and planting requirements (C 120228 ZSM); (6) a large-scale general development special permit pursuant to ZR Section 74-744 to (i) allow Use Group 10, 11A and certain 12A uses in C2 districts within the Large Scale Development Project and (ii) allow commercial and residential use to be arranged within the Large Scale Development Project without regard for the locational restrictions set forth in ZR Section 32-422 (C 120229 ZSM); (7) zoning text amendments to ZR Sections 74-743 and 74-744 (i) for the elimination of the planting strip requirement within the boundaries of the Large Scale Development Project, (ii) to allow commercial floor area to be shifted from a C6 district to an R8/C2 district within the boundaries of the Large Scale Development Project, (iii) to allow Use Group 10, 11A and certain 12A uses in a C2 zoning district within the boundaries of the Large Scale Development Project and (iv) to allow waiver of underlying signage regulations so that the proposed signage complies with C6-1

signage regulations (N 120227 ZRM); (8) an authorization pursuant to ZR Section 74-444(c)(2) for modification of signage regulations to permit signage in compliance with C6-1 regulations along certain streets (N 120230 ZAM); (9) special permits pursuant to ZR Sections 13-562 and 74-52 for each of Sites 2, 3, 4 and 5 to allow for public parking garages with specified maximum number of spaces on each of these Sites (C 120231 ZSM, C 120233 ZSM, C 120234 ZSM and C 120235 ZSM) (collectively, the “**Parking Garage Special Permits**”); (10) an amendment to the City Map to remove sections of Delancey Street between Norfolk and Clinton Streets and Clinton Street between Delancey and Grand Streets, thereby aligning the mapped streets with the existing built street condition (C 120156 MMM); and (11) an amendment to the City Map to map a formerly demapped section of Suffolk Street between Grand and Delancey Streets and a demapped section of Broome Street between Norfolk and Clinton Streets as new streets through the Large Scale Development Project (C 120156 MMM) (items 1 through 11 collectively, the “**Land Use Applications**”); and

**WHEREAS**, the New York City Planning Commission (“**CPC**”) adopted resolutions approving the Land Use Applications on August 22, 2012, under Calendar Numbers 7-17, and the New York City Council adopted resolutions approving the decision of CPC on October 11, 2012, under Resolution Numbers 1551-1562 (such resolutions the “**Land Use Approvals**”); and

**WHEREAS**, ZR Section 74-743(b)(8) requires that a declaration with regard to ownership requirements in paragraph (b) of the large-scale general development definition in ZR Section 12-10 be filed with CPC; and

**WHEREAS**, since the City is the fee owner of the Subject Property, the New York City Law Department has certified in the certification (the “**Certification**”) attached hereto as Exhibit

B and made a part hereof, that as of December 19, 2014, the City is the sole party-in-interest (the "**Party-in-Interest**") in the Subject Property, as such term is defined in the definition of "zoning lot" in ZR Section 12-10; and

**WHEREAS**, the City desires to restrict the manner in which the Subject Property may be developed, redeveloped, maintained and operated in the future by any Successor Declarant, and intends these restrictions to benefit all the land on the Subject Property;

**NOW, THEREFORE**, Declarant does hereby declare and agree that the Subject Property shall be held, sold, transferred, conveyed and occupied subject to the restrictions, covenants, obligations, easements, and agreements of this Declaration, which shall run with the Subject Property and which shall be binding on Declarant and its successors and assigns.

1. **Designation of Large-Scale General Development.** Declarant hereby declares and agrees that, following the Effective Date (as defined in Section 9 hereof), the Subject Property shall be treated as a large-scale general development site pursuant to ZR Sections 74-743 and 74-444 and shall be developed and enlarged as a single unit.

2. **Development of Subject Property.**

(a) **Plans.** If the Subject Property is developed in whole or part in accordance with the Land Use Approvals, Declarant covenants that the Subject Property shall be developed in substantial conformity with the following plans prepared by Beyer, Blinder, Belle Architects and Planners LLP, approved as part of the Land Use Approvals and annexed hereto as Exhibit C and made a part hereof (collectively, the "**Plans**");

<b>Drawing No.</b>	<b>Title</b>	<b>Last Revised Date</b>
001	Zoning Calculations (1 of 4)	3/21/2012
002	Zoning Calculations (2 of 4)	11/16/12
003	Zoning Calculations (3 of 4)	8/06/2012
004	Zoning Calculations (4 of 4)	3/21/2012
008	Proposed Site Plan	11/16/12
	<b>ZONING LOT 1</b>	
101	Proposed Site Plan – Zoning Lot 1	3/21/2012
102	Ground Floor Plan – Zoning Lot 1	3/21/2012
103	Building Envelope Diagrams – Zoning Lot 1	3/21/2012
104M	Base Plane Diagram – Zoning Lot 1	3/21/2012
104N	Average Curb Level – Zoning Lot 1	3/21/2012
105M	Zoning Actions Plan (Mixed-Use) – Zoning Lot 1	3/21/2012
105N	Zoning Actions Plan (Non-Residential) – Zoning Lot 1	3/21/2012
106M	Zoning Actions Sections (Mixed-Use) – Zoning Lot 1	3/21/2012
106N	Zoning Actions Sections (Non-Residential) – Zoning Lot 1	3/21/2012
	<b>ZONING LOT 2</b>	
201	Proposed Site Plan – Zoning Lot 2	3/21/2012
202	Ground Floor Plan – Zoning Lot 2	9/27/2012
203.1	Building Envelope Diagrams – Zoning Lot 2	3/21/2012
203.2	Building Envelope Diagrams – Zoning Lot 2	3/21/2012
203.3	Building Envelope Diagrams – Zoning Lot 2	3/21/2012
203.4	Building Envelope Diagrams – Zoning Lot 2	3/21/2012
204M	Base Plane Diagram – Zoning Lot 2	3/21/2012



204N	Average Curb Level – Zoning Lot 2	3/21/2012
205M	Zoning Actions Plan (Mixed-Use) – Zoning Lot 2	3/21/2012
205N	Zoning Actions Plan (Non-Residential) – Zoning Lot 2	3/21/2012
206M	Zoning Actions Sections (Mixed-Use) – Zoning Lot 2	3/21/2012
206N	Zoning Actions Sections (Non-Residential) – Zoning Lot 2	3/21/2012
	<b>ZONING LOT 3</b>	
301	Proposed Site Plan – Zoning Lot 3	3/21/2012
302	Ground Floor Plan – Zoning Lot 3	9/27/2012
303.1	Building Envelope Diagrams – Zoning Lot 3	3/21/2012
303.2	Building Envelope Diagrams – Zoning Lot 3	3/21/2012
303.3	Building Envelope Diagrams – Zoning Lot 3	3/21/2012
304M	Base Plane Diagram – Zoning Lot 3	3/21/2012
304N	Average Curb Level – Zoning Lot 3	3/21/2012
305M	Zoning Actions Plan (Mixed-Use) – Zoning Lot 3	3/21/2012
305N	Zoning Actions Plan (Non-Residential) – Zoning Lot 3	3/21/2012
306M	Zoning Actions Sections (Mixed-Use) – Zoning Lot 3	3/21/2012
306N	Zoning Actions Sections (Non-Residential) – Zoning Lot 3	3/21/2012
307	Inner Court Diagrams – Zoning Lot 3	3/21/2012
308	Outer Court Diagrams – Zoning Lot 3	3/21/2012
	<b>ZONING LOT 4</b>	
401	Proposed Site Plan – Zoning Lot 4	3/21/2012
402	Ground Floor Plan – Zoning Lot 4	9/27/2012
403.1	Building Envelope Diagrams – Zoning Lot 4	3/21/2012
403.2	Building Envelope Diagrams – Zoning Lot 4	3/21/2012

404M	Base Plane Diagram – Zoning Lot 4	3/21/2012
405M	Zoning Actions Plan (Mixed-Use) – Zoning Lot 4	3/21/2012
406M	Zoning Actions Sections (Mixed-Use) – Zoning Lot 4	3/21/2012
407	Inner Court Diagrams – Zoning Lot 4	3/21/2012
408	Outer Court Diagrams – Zoning Lot 4	3/21/2012
	<b>ZONING LOT 5</b>	
501	Proposed Site Plan – Zoning Lot 5	11/16/12
502	Ground Floor Plan – Zoning Lot 5	11/16/12
503	Building Envelope Diagrams – Zoning Lot 5	11/16/12
504M	Base Plane Diagram – Zoning Lot 5	3/21/2012
505M	Zoning Actions Plan (Mixed-Use) – Zoning Lot 5	11/16/12
506M	Zoning Actions Sections (Mixed-Use) – Zoning Lot 5	11/16/12
507	Inner Court Diagrams – Zoning Lot 5	11/16/12
508	Outer Court Diagrams – Zoning Lot 5	11/16/12
	<b>ZONING LOT 6</b>	
601	Proposed Site Plan – Zoning Lot 6	3/21/2012
602	Ground Floor Plan – Zoning Lot 6	3/21/2012
603	Building Envelope Diagrams – Zoning Lot 6	3/21/2012
604M	Base Plane Diagram – Zoning Lot 6	3/21/2012
604N	Average Curb Level – Zoning Lot 6	3/21/2012
605M	Zoning Actions Plan (Mixed-Use) – Zoning Lot 6	3/21/2012
605N	Zoning Actions Plan (Non-Residential) – Zoning Lot 6	3/21/2012
606M	Zoning Actions Sections (Mixed-Use) – Zoning Lot 6	3/21/2012
606N	Zoning Actions Sections (Non-Residential) – Zoning Lot 6	3/21/2012

(b) In the event that Declarant seeks to develop the Subject Property other than as the Large Scale Development Project, Declarant shall not be authorized to develop the Subject Property except as would be permitted pursuant to the applicable zoning districts, subject to the following further restrictions: (i) such development shall comply in all respects with and only to the extent permitted under the zoning regulations existing immediately prior to the date of the Land Use Approval of the Zoning Map Amendment, i.e., in accordance with the controls applicable to a C6-1 zoning district on Sites 1 and 2 and a R8 zoning district on Sites 3 through 6 (“**Prior Zoning Development**”); or (ii) to the extent such development is not permitted under (i) above, such development has been reviewed and approved by CPC and drawings with respect thereto, in a form acceptable to DCP, have been incorporated in this Declaration pursuant to the procedures for modification of this Declaration as set forth in Section 13(f) hereof (the “**Alternative Development**”).

(c) Parking. In no event shall more than an aggregate of five hundred (500) off-street public parking spaces be added pursuant to the Parking Garage Special Permits granted in connection with the Large Scale Development Project.

3. **Sidewalk Widening Areas**.

(a) If the Subject Property is developed as a Large Scale Development Project, the Successor Declarant(s) shall improve and construct the Publicly-Accessible Sidewalk Widening Areas with respect to the portion of the Subject Property for which such Successor Declarant has an interest, as more fully depicted on Drawings No. 102, 202, 302, 402, 502, and 602 of the Plans (collectively the “**Publicly-Accessible Sidewalk Widening Areas**”), in accordance with New York City Department of Transportation (“**DOT**”) standards and specifications, within the

same time frame as any accompanying standard sidewalk work, pursuant to the necessary Builder's Pavement Plan, for the purpose of providing public pedestrian access thereover.

(b) Publicly-Accessible Sidewalk Widening Easement. Declarant covenants that, immediately upon substantial completion of each of the Publicly-Accessible Sidewalk Widening Areas, same shall be open and in use for the purposes set forth in Section 4(a) above, and Declarant covenants that the City shall enjoy, wield and have the right to and the benefit of and be granted, conveyed and transferred a non-exclusive easement (the "Publicly-Accessible Sidewalk Widening Easement") in perpetuity, for the benefit of the general public, encompassing the Publicly-Accessible Sidewalk Widening Areas unobstructed from the surface thereof to the sky, for the purpose of pedestrian access. Each such easement (i) shall be effectuated without the necessity for recording a separate easement instrument and (ii) shall be prior in interest to any property interest on the Subject Property or any portion thereof that is recorded after the date of this Declaration.

4. Open Space.

(a) Obligation to Construct Open Space.

(i) The Successor Declarant(s) that has been selected by the City (acting through NYCEDC and/or HPD) as the developer responsible for the Open Space obligations set forth in this Declaration ("Open Space Successor Declarant") shall develop a minimum of approximately 15,000 square feet of open space on Site 5 within the time period set forth in Section 4(d) of this Declaration in the general location shown on the approved site plan attached hereto as Drawing No. 501 of the Plans (the "Open Space"). The general purpose of the Open Space will be to serve as a neighborhood open space, provide amenities for residents, workers, and the general public, and provide a mix of passive and active recreational space, including a

variety of seating types and areas, including social seating, and children's play features (the "**General Purpose**"). It shall not be inconsistent with the General Purpose for a portion of the Open Space to be used as a zoning use Zoning Group 6 eating and drinking establishment ("**Kiosk**") as set forth in Section 4(a)(iv)(J) of this Declaration.

(ii) At a minimum, the Open Space shall include the following required elements ("**Required Elements**"): (A) passive open space consisting of seating, pathways, landscaping and related amenities, and (B) active open space consisting of children's play features and other elements to be included after consultation with Manhattan Community Board #3 ("**CB3**") and the New York City Department of Parks and Recreation ("**DPR**"). In addition to the foregoing, the Open Space may include a lawn area and other elements consistent with the General Purpose.

(iii) No portion of the Open Space may be enclosed by a gate or fence. The Open Space shall be open to the public, consistent with the General Purpose, 365 days per year and the minimum hours shall be as follows: (i) 7 a.m. to 10 p.m. from April through October and (ii) 7 a.m. to 8 p.m. from November through March. Notwithstanding the foregoing, the Open Space Successor Declarant may close the Open Space one day in each calendar year for private events, and as otherwise provided herein in Section 4(g).

(iv) The Open Space shall conform with the design criteria set forth below (collectively, the "**Design Criteria**").

(A) Seating:

(I) At least three different types of seating shall be provided, which seating types may include: moveable seating, fixed individual seats, fixed benches with and without backs, and design-feature seating such as seat walls, planter ledges, or seating steps.

Seating shall have a minimum depth of 18 inches. Seating with 36 inches or more in depth is permitted, provided there is access to both sides of such seat. When seating is provided on a planter ledge, such ledge must have a minimum depth of 22 inches;

(II) Seating shall have a height not less than 16 inches nor greater than 20 inches above the level of the adjacent walking surface. Seating steps may have a height not to exceed 30 inches and seating walls may have a height not to exceed 24 inches;

(III) At least 50 percent of the linear feet of fixed seating shall have backs at least 14 inches high and a maximum seat depth of 20 inches. Walls located adjacent to a seating surface shall not count as seat backs. All seat backs must either be contoured in form for comfort or shall be reclined from vertical between 10 to 15 degrees;

(IV) All moveable seats must have backs and a maximum seat depth of 20 inches. If moveable seats are included, one table shall be provided for every four such moveable seats. Moveable seats shall not be chained, fixed, or otherwise secured while the Open Space is open to the public; moveable seats, however, may be removed during the hours when the Open Space is not open to the public as set forth in Section 4(a)(iii) of this Declaration;

(V) Seating steps shall not include any steps intended for circulation and must have a height not less than six inches nor greater than 30 inches and a depth not less than 18 inches. Seating walls shall have a height not greater than 18 inches; such seating walls, however, may have a height not to exceed 24 inches if they are located within 10 feet of an edge of the Open Space; and

(VI) Seats that face walls must be a minimum of six feet from such wall.

(B) Steps: Any steps provided within the Open Space must have a minimum height of four inches and a maximum height of six inches. Steps must have a minimum tread of 17 inches; steps with a height of five inches, however, may have a minimum tread of 15 inches.

(C) Prohibitions: Devices or forms affixed or incorporated into planter ledges, steps, sills, or other horizontal surfaces that would otherwise be suitable for seating that are intended to prevent, inhibit or discourage seating (such as spikes, metal bars, or pointed, excessively rough, or deliberately uncomfortable materials or forms) shall be prohibited. Deterrents to skateboards, rollerblades and other wheeled devices are permitted on seating surfaces if they do not inhibit seating, maintain a minimum distance of four feet between deterrents, and are integrated into the seating surface at the time of manufacture or construction or should be constructed of materials that are consistent with the materials and finish quality of the seating surface.

(D) Access for Persons with Disabilities: The Open Space shall conform with applicable laws pertaining to access for persons with disabilities.

(E) Plantings and Trees:

(I) At least twenty percent (20%) of the Open Space area shall be comprised of planting beds with a minimum dimension of two feet, exclusive of any bounding walls;

(II) The Open Space shall provide four trees plus an additional four caliper inches in additional trees or multi-stemmed equivalents for each additional 1,000 square feet of Open Space in excess of 6,000 square feet, rounded to the nearest 1,000 square feet;

(III) At least 50 percent of required trees shall be planted flush-to-grade or planted at grade within planting beds with no raised curbs or railings. Trees planted flush-to-grade shall be surrounded by a porous surface (such as grating or open-joint paving) that allows water to penetrate into the soil for a minimum radius of two feet, six inches. Such porous surface shall be of sufficient strength and density to accommodate pedestrian circulation, including all requirements related to accessibility for the disabled, and shall be of a design that allows for tree growth. Installed fixtures such as lighting stanchions, electrical outlets or conduits shall not be located within the required porous area of any tree planted flush-to-grade;

(IV) Where trees are planted within the Open Space, they shall measure at least four inches in caliper at the time of planting, unless alternative, multi-stemmed equivalents are specified in the Open Space plans. Each tree shall be planted in at least 200 cubic feet of soil with a depth of soil of at least three feet, six inches;

(V) Planting beds shall have a soil depth of at least 18 inches for grass or other ground cover, three feet for shrubs and three feet, six inches for trees. No planters or planting beds shall have bounding walls that exceed 18 inches in height above an adjacent walking surface or the highest adjacent surface where the bounding wall adjoins two or more walking surfaces with different elevations. Any planting bed containing required trees shall have a continuous area of at least 75 square feet for each tree exclusive of bounding walls. Furthermore, each tree located within a planting bed shall be surrounded by a continuous permeable surface measuring at least five feet square. Any lawns or turf grass planting beds shall not exceed six inches above any adjacent walking surfaces;

(VI) All planted areas shall either be automatically irrigated or shall consist of species that do not require regular watering;



(VII) All planted areas located above subsurface structures such as cellars or garages shall have drainage systems to prevent collection and pooling of water within planted areas; and

(VIII) Street trees are required to be planted in the public sidewalk area adjacent to Site 5 in accordance with the street tree planting regulations set forth in Section 26-41 (Street Tree Planting) of the Zoning Resolution as in effect on the date of this Declaration. The length of frontage of the zoning lot for the purpose of computing required street trees may be reduced by 50 feet for each street intersection fronted by the Open Space. If DPR determines that the tree planting requirements of this paragraph are infeasible, the number of required street trees that cannot be planted shall be planted in accordance with the off-site tree provisions set forth in Section 26-41 of the Zoning Resolution, or within the Open Space.

(F) Lighting and Electrical Equipment:

(I) The Open Space shall be illuminated to provide for safe use and enjoyment of all areas of the Open Space. Special attention should be provided in lighting steps and other changes in elevation and areas under tree canopies and permitted canopies within the Open Space;

(II) The Open Space shall be illuminated with a minimum level of illumination of not less than two horizontal foot candles (lumens per foot) throughout all walkable and sitting areas, including sidewalks directly adjacent to the Open Space, and a minimum level of illumination of not less than 0.5 horizontal foot candles (lumens per foot) throughout all other areas. All lighting sources used to satisfy this illumination requirement shall be located outdoors on Site 5. Such level of illumination shall be maintained from one hour before sunset to one hour after sunrise, including any nighttime closure. A lighting schedule,

including fixtures, wattage and their locations and designs together with a diagram of light level distribution, with light levels indicated at intervals of no more than every 20 square feet. Electrical power shall be supplied by one or more outlets furnishing a total of at least 1,200 watts of power for every 4,000 square feet, or fraction thereof, of the area of the Open Space; and

(III) All lighting sources that illuminate the Open Space and are mounted on or located within buildings adjacent to the Open Space shall be shielded from direct view. In addition, all lighting within the Open Space area shall be shielded to minimize any adverse effect on surrounding residences.

(G) Litter Receptacles: One litter receptacle shall be provided for every 1,500 square feet of Open Space area, up to a maximum of 6,000 square feet. An additional litter receptacle must be provided for every additional 2,000 square feet of Open Space area in excess of 6,000 square feet. If the Open Space contains a Kiosk, one additional litter receptacle shall be provided for each 1,500 square feet of Open Space area occupied by such outdoor eating area as is permitted by Section 4(a)(iv)(J) hereof. All litter receptacles must have a volume capacity of at least 25 gallons and shall be located in visible and convenient locations. All top or side openings must have a minimum dimension of 12 inches.

(H) Bicycle Parking: The Open Space shall provide parking for at least two bicycles. Bike racks must be provided on the sidewalk directly adjacent to the Open Space in accordance with DOT standards, unless DOT has determined that the sidewalk area adjacent to the Open Space cannot accommodate the required bicycle parking.

(I) Signage: The Open Space shall comply with all the provisions of ZR Section 37-751 (Public Space Signage) as in effect on the date of this Declaration, as modified herein. All references therein to #public plaza# shall be replaced with the words "Open

Space”. Section ZR 37-751(a)(3) shall be modified as follows: the hours of operation set forth in Section 4(a)(iii) of this Declaration shall replace the words “Open 24 hours” and the words “Open to the public” shall precede those hours of operation. There shall also be provided one operating rules sign. A maximum of one such sign may be located within the Open Space. Such sign shall not exceed one foot square dimension, may not be freestanding, and shall contain no lettering greater than ¾ inch in height.

(J) Permitted Obstructions: The provisions of ZR Section 37-726 (Permitted Obstructions) as in effect on the date of this Declaration shall apply to the Open Space. A Kiosk shall be considered a permitted obstruction for purposes of applying ZR Section 37-726 to the Open Space. Such Kiosk shall be substantially transparent and shall occupy no more than 100 square feet, and such Kiosk, including seating, may occupy no more than ten percent (10%) of the Open Space.

(v) The Open Space shall be subject to the operating rules set forth in Exhibit D hereto.

(b) Design Consultation Process.

(i) Upon the awarding of a design contract to an architect (the “Architect”) to design the Open Space, Declarant shall cause the private developer (or prospective private developer) selected by the City (acting through NYCEDC and/or HPD) with the responsibility of complying with the Open Space obligations set forth in this Declaration (the “Open Space Developer”), provided that once the Open Space Developer obtains fee ownership of a portion of the Subject Property, the Open Space Developer will thereafter be referred to as the Open Space Successor Declarant for purposes of this Declaration) to give written notice of such design award to HPD, New York City Economic Development Corporation (“NYCEDC”), DPR and CB3,

specifying the name and address of the Architect. CB3 may convene a committee (the “**CB3 Committee**”) and hold an initial meeting (the “**Initial Design Meeting**”) within thirty (30) days after receipt of such notice, to present the goals and priorities for the design of the Open Space. Within twenty (20) days of the Initial Design Meeting, the CB3 Committee may provide written comments to the Open Space Developer and the Architect setting forth its goals and priorities for the design of the Open Space.

(ii) Upon completion of the conceptual design drawings of the Open Space, Declarant shall cause the Open Space Developer to give written notice thereof, along with such conceptual design materials, including a dimensioned plan of the Open Space showing all Required Elements, to the CB3 Committee and, within thirty (30) days after the CB3 Committee’s receipt thereof, the CB3 Committee may convene a meeting with the Open Space Developer and the Architect to consider and review the conceptual design for the Open Space (the “**Conceptual Design Meeting**”). At this Conceptual Design Meeting, the Open Space Developer shall discuss how it incorporated the goals and priorities of the CB3 Committee into the conceptual design, or if such goals and priorities were not incorporated into the conceptual design, an explanation of why such goals and priorities were not incorporated. Within twenty (20) days after the Conceptual Design Meeting, the CB3 Committee may provide written comments to the Open Space Developer and the Architect, setting forth its comments regarding the conceptual design of the Open Space, including the articulation of a preference for one conceptual design over others, if applicable, and specific changes requested thereto. The design consultation process shall be concluded upon the completion of all the steps set forth in **Sections 4(b)(i) and 4(b)(ii) hereof**.

(iii) Declarant shall cause the Open Space Developer to submit all design materials and all comments received from the CB3 Committee simultaneously to HPD, NYCEDC and DPR.

(iv) If HPD, NYCEDC and/or DPR determine that substantial changes have been made to the conceptual design for the Open Space after the completion of the design consultation process, Declarant shall cause the Open Space Developer to repeat the steps set forth in Section 4(b)(ii) above.

(v) Notwithstanding anything to the contrary contained in this Section 4(b), the CB3 Committee may request extensions of up to fifteen (15) days for the scheduling of meetings and up to ten (10) days for the submission of written comments to the Open Space Developer. If the CB3 Committee does not convene meetings or submit comments within the time periods herein provided, it shall be deemed to have waived its right thereto.

(c) CPC Chair Review and Certification of Design.

(i) Declarant shall cause the Open Space Developer to neither request nor accept a building permit from the New York City Department of Buildings (“**DOB**”) (other than a permit for demolition, site preparation or excavation) for the private development on the Site owned by the Open Space Successor Declarant (the “**Private Development**” and the Site owned by such Open Space Successor Declarant, the “**Private Development Site**”) until the Chairperson of the New York City Planning Commission (the “**Chair**”) certifies that the design of the Open Space is consistent with the General Purpose, contains the Required Elements and complies with the Design Criteria (elements of which may be waived by the Chair pursuant to Section 4(c)(iii) hereof) and minimum size of approximately 15,000 square feet (the “**Open Space Certification**”).

(ii) To initiate Chair review, Declarant shall cause the Open Space Developer to submit drawings, including a single plan drawing showing the status of the Large Scale Development Project at the time of submission, a site plan of Site 5, and a dimensioned site plan for the Open Space with sufficient details to enable the Chair to determine whether the Required Elements are present and whether the Design Criteria have been complied with ("Open Space Certification Plans"). Declarant shall also cause the Open Space Developer to submit a report confirming that the design consultation process set forth in Section 4(b) hereof was completed and describing all comments (both verbal and written) received at each stage of the process and any design changes made in response thereto or if requested changes were not made, an explanation of why such changes were not made.

(iii) Within thirty (30) days of such submission, the Chair shall either (A) issue the Open Space Certification, or (B) notify Declarant in writing of any lacking Required Elements or of any failure to comply with the Design Criteria, in which case Declarant shall cause the Open Space Developer to submit revised Open Space Certification Plans which shall address such defects, and the Chair shall issue the Open Space Certification within fifteen (15) days after receipt thereof. In issuing such Open Space Certification, the Chair may, at his or her discretion, waive Design Criteria, provided that the Open Space Developer has clearly identified such elements to be waived during the Conceptual Design Meeting or other meetings with the CB3 Committee, and the CB3 Committee has been given the opportunity to comment on any proposed waivers of the Design Criteria. Upon issuance of the Open Space Certification, Declarant shall cause the Open Space Developer to transmit to the CB3 Committee copies of the Open Space Certification Plans and the report referenced in Section 4(c)(ii) above.

(d) Completion of Construction.

(i) The Open Space Successor Declarant shall neither request nor accept a temporary certificate of occupancy (“TCO”) from DOB for any portion of the Private Development, including but not limited to any residential unit in the Private Development (except that to the extent a mixed-use building is included in the Private Development, the prohibitions against accepting a TCO from DOB before the conditions set forth below have been satisfied, shall only apply to any residential unit in such mixed-use building), until the Open Space Successor Declarant posts an irrevocable standby letter of credit in favor of HPD, in form and substance satisfactory to HPD, for ten percent (10%) of the amount required to complete construction of the Open Space, to be held by HPD as security for such obligation.

(ii) The Open Space Successor Declarant shall neither request nor accept a permanent certificate of occupancy (“PCO”) from DOB for any portion of the Private Development, including but not limited to any residential unit in the Private Development (except that to the extent a mixed-use building is included in the Private Development, the prohibitions against accepting a PCO from DOB before the conditions set forth below have been satisfied, shall only apply to any residential unit in such mixed-use building), until the Chair has certified to DOB that the construction of the Open Space is “Finally Complete,” following the process described below. For purposes of this Section 4(d), “Finally Complete” or “Final Completion” means the completion of all relevant items of work with respect to the construction of the Open Space, including minor or insubstantial details of the construction, decoration or mechanical adjustment that were not previously performed and landscaping, planting of vegetation or other tasks due to seasonality that were not previously completed, all in conformance with the Open Space Certification Plans certified by the Chair pursuant to Section

4(c) hereof; the installation of all Required Elements; and that such amenity is available to and open for use by the public.

(iii) The Open Space Successor Declarant shall notify the Chair when it believes the Open Space is Finally Complete. Within ten (10) business days of its receipt of the Open Space Successor Declarant's notice, the Chair shall either (A) issue a certification of Final Completion (the "**Certificate of Final Completion**"), or (B) notify the Open Space Successor Declarant of any Required Elements that remain to be completed before the Chair will issue a Certificate of Final Completion. If the Chair notifies the Open Space Successor Declarant of any Required Elements that remain to be completed or corrected, such notice shall contain a detailed statement of the reasons for such non-acceptance in the form of a so-called "punch list". Upon completion of the Required Elements specified in the punch list, the Open Space Successor Declarant shall notify the Chair, and within ten (10) days of receipt of such notice, the Chair shall either (I) issue a Certificate of Final Completion, or (II) issue a revised punch list including any items on the original punch list remaining to be completed and, within reason any additional Required Elements that remain to be completed. This process shall continue until the Chair has issued a Certificate of Final Completion.

(iv) Upon receipt of the Certificate of Final Completion, the Open Space Successor Declarant may apply for and obtain PCOs for the residential units in the Private Development, and the letter of credit held as security for the construction of the Open Space may be released.

(e) Open Space Easement. If the City does not own the Open Space, the Open Space Successor Declarant covenants that, immediately upon the issuance of a Certificate of Final Completion, the City shall enjoy, wield and have the right to and the benefit of and be granted,



conveyed and transferred a non-exclusive easement (the "**Open Space Easement**") in perpetuity, for the benefit of the general public, encompassing the area of the Open Space unobstructed from the surface thereof to the sky, for the purposes of (i) passive and active recreational use by the general public and (ii) access for fire, police and other emergency services. Such easement (i) shall be effectuated without the necessity for recording a separate easement instrument and (ii) shall be prior in interest to any property interest on the Subject Property or any portion thereof that is recorded after the date of this Declaration.

(f) **Maintenance and Operation.**

(i) Upon the issuance of a Certificate of Final Completion and the opening of the Open Space, the Open Space Successor Declarant may offer to transfer the Open Space to the City (provided the City agrees to and accepts such transfer) or to a not-for-profit entity, provided that prior to the effectuation of such transfer to a not-for-profit entity, the Open Space Successor Declarant and the entity shall enter into an agreement in form and substance reasonably acceptable to the Chair as necessary to ensure in the event of transfer, that the entity is capable of performing all the obligations set forth in this Section 4(f) on a permanent basis.

(ii) **Cleaning.**

(A) Trash shall be collected regularly. Litter and other obstructions shall be removed as needed.

(B) Walkways and paths shall be cleaned and cleared as needed and maintained in good condition.

(C) Appropriate measures shall be taken to control rodents and pigeons.

(D) Graffiti shall be promptly removed or painted over.

(E) Drains, sewers and catch basins shall be cleaned regularly to prevent clogging.

(F) Snow shall be promptly removed from walkways, and fallen branches and trees shall be removed promptly.

(iii) Landscape and Feature Maintenance.

(A) Appropriate maintenance for planted areas shall be undertaken, including: pruning, trimming, and weeding; removal and replacement of plants, branches and trees that are dead or blighted; wrapping of trees, shrubs, and other plants as necessary to ensure adequate winter protection, and subsequent removal come springtime; replanting, reseeding and fertilizing as needed; mowing of grass and watering of plantings as needed.

(B) Adequate lighting levels shall be maintained, and lighting equipment shall be repaired or replaced as necessary.

(C) Water features within the Open Space, if any, shall be maintained in good condition and shall be required to be operational from no later than April 1 to at least October 1.

(iv) Repairs and Replacements. Repairs and replacements of features in the Open Space shall occur as needed to maintain the Open Space in a state of good repair. All repairs and replacements shall occur promptly and in substantial compliance with the Open Space Certification Plans certified by the Chair pursuant to Section 4(c) hereof. Repairs shall include, but are not limited to, the following items:

(A) Seating: All seating shall be repaired and repainted as necessary, including replacement of any moveable seating that has been removed.

(i) The Open Space Successor Declarant shall neither request nor accept a temporary certificate of occupancy (“TCO”) from DOB for any portion of the Private Development, including but not limited to any residential unit in the Private Development (except that to the extent a mixed-use building is included in the Private Development, the prohibitions against accepting a TCO from DOB before the conditions set forth below have been satisfied, shall only apply to any residential unit in such mixed-use building), until the Open Space Successor Declarant posts an irrevocable standby letter of credit in favor of HPD, in form and substance satisfactory to HPD, for ten percent (10%) of the amount required to complete construction of the Open Space, to be held by HPD as security for such obligation.

(ii) The Open Space Successor Declarant shall neither request nor accept a permanent certificate of occupancy (“PCO”) from DOB for any portion of the Private Development, including but not limited to any residential unit in the Private Development (except that to the extent a mixed-use building is included in the Private Development, the prohibitions against accepting a PCO from DOB before the conditions set forth below have been satisfied, shall only apply to any residential unit in such mixed-use building), until the Chair has certified to DOB that the construction of the Open Space is “Finally Complete,” following the process described below. For purposes of this Section 4(d), “Finally Complete” or “Final Completion” means the completion of all relevant items of work with respect to the construction of the Open Space, including minor or insubstantial details of the construction, decoration or mechanical adjustment that were not previously performed and landscaping, planting of vegetation or other tasks due to seasonality that were not previously completed, all in conformance with the Open Space Certification Plans certified by the Chair pursuant to Section

4(c) hereof; the installation of all Required Elements; and that such amenity is available to and open for use by the public.

(iii) The Open Space Successor Declarant shall notify the Chair when it believes the Open Space is Finally Complete. Within ten (10) business days of its receipt of the Open Space Successor Declarant's notice, the Chair shall either (A) issue a certification of Final Completion (the "**Certificate of Final Completion**"), or (B) notify the Open Space Successor Declarant of any Required Elements that remain to be completed before the Chair will issue a Certificate of Final Completion. If the Chair notifies the Open Space Successor Declarant of any Required Elements that remain to be completed or corrected, such notice shall contain a detailed statement of the reasons for such non-acceptance in the form of a so-called "punch list". Upon completion of the Required Elements specified in the punch list, the Open Space Successor Declarant shall notify the Chair, and within ten (10) days of receipt of such notice, the Chair shall either (I) issue a Certificate of Final Completion, or (II) issue a revised punch list including any items on the original punch list remaining to be completed and, within reason any additional Required Elements that remain to be completed. This process shall continue until the Chair has issued a Certificate of Final Completion.

(iv) Upon receipt of the Certificate of Final Completion, the Open Space Successor Declarant may apply for and obtain PCOs for the residential units in the Private Development, and the letter of credit held as security for the construction of the Open Space may be released.

(e) **Open Space Easement**. If the City does not own the Open Space, the Open Space Successor Declarant covenants that, immediately upon the issuance of a Certificate of Final Completion, the City shall enjoy, wield and have the right to and the benefit of and be granted,

conveyed and transferred a non-exclusive easement (the "Open Space Easement") in perpetuity, for the benefit of the general public, encompassing the area of the Open Space unobstructed from the surface thereof to the sky, for the purposes of (i) passive and active recreational use by the general public and (ii) access for fire, police and other emergency services. Such easement (i) shall be effectuated without the necessity for recording a separate easement instrument and (ii) shall be prior in interest to any property interest on the Subject Property or any portion thereof that is recorded after the date of this Declaration.

(f) Maintenance and Operation.

(i) Upon the issuance of a Certificate of Final Completion and the opening of the Open Space, the Open Space Successor Declarant may offer to transfer the Open Space to the City (provided the City agrees to and accepts such transfer) or to a not-for-profit entity, provided that prior to the effectuation of such transfer to a not-for-profit entity, the Open Space Successor Declarant and the entity shall enter into an agreement in form and substance reasonably acceptable to the Chair as necessary to ensure in the event of transfer, that the entity is capable of performing all the obligations set forth in this Section 4(f) on a permanent basis.

(ii) Cleaning.

(A) Trash shall be collected regularly. Litter and other obstructions shall be removed as needed.

(B) Walkways and paths shall be cleaned and cleared as needed and maintained in good condition.

(C) Appropriate measures shall be taken to control rodents and pigeons.

(D) Graffiti shall be promptly removed or painted over.

(E) Drains, sewers and catch basins shall be cleaned regularly to prevent clogging.

(F) Snow shall be promptly removed from walkways, and fallen branches and trees shall be removed promptly.

(iii) Landscape and Feature Maintenance.

(A) Appropriate maintenance for planted areas shall be undertaken, including: pruning, trimming, and weeding; removal and replacement of plants, branches and trees that are dead or blighted; wrapping of trees, shrubs, and other plants as necessary to ensure adequate winter protection, and subsequent removal come springtime; replanting, reseeding and fertilizing as needed; mowing of grass and watering of plantings as needed.

(B) Adequate lighting levels shall be maintained, and lighting equipment shall be repaired or replaced as necessary.

(C) Water features within the Open Space, if any, shall be maintained in good condition and shall be required to be operational from no later than April 1 to at least October 1.

(iv) Repairs and Replacements. Repairs and replacements of features in the Open Space shall occur as needed to maintain the Open Space in a state of good repair. All repairs and replacements shall occur promptly and in substantial compliance with the Open Space Certification Plans certified by the Chair pursuant to Section 4(c) hereof. Repairs shall include, but are not limited to, the following items:

(A) Seating: All seating shall be repaired and repainted as necessary, including replacement of any moveable seating that has been removed.

(B) Walls or Other Barriers: Any broken or cracked walls, fences or other barriers shall be repaired or replaced.

(C) Paving: All paved surfaces shall be maintained in a safe and attractive condition.

(D) Painting: All painted items shall be repainted and rust or other extraneous matter removed as needed.

(E) Signage: All signs shall be maintained in good condition and cleaned or replaced if vandalized.

(F) Construction Defects and Hazardous Conditions: The Open Space shall be periodically inspected for construction defects and hazardous conditions, and any portion or feature that exhibits defects or hazardous conditions shall be promptly repaired or replaced.

(g) Public Access and Continuation of Use. Except as provided in this Section 4(g) or otherwise agreed to by DCP, the Open Space shall be open and accessible to the public in accordance with Section 4(a)(iii) of this Declaration. Notwithstanding the foregoing, or anything to the contrary in this Section 4(g), Declarant may close the Open Space or portions thereof for additional periods as may be necessary in order to: (i) accomplish maintenance repairs or replacements; (ii) make emergency repairs to mitigate hazardous conditions; and (iii) address other emergency conditions. Emergency conditions for which the Open Space may be closed pursuant to (iii) above shall be limited to actual or imminent emergency situations, including but not limited to, security alerts, riots, casualties, disasters, or other events engendering public health, safety or property, provided that no such closure shall continue for more than twelve (12) consecutive hours without Declarant having consulted with the New York City Police

Department (the “NYPD”) or DOB, as appropriate, and having followed the NYPD’s or DOB’s direction, if any, with regard to the emergency situation. Declarant shall promptly notify the Chair, and DOB, as appropriate, in writing of any such emergency closure under (i) or (ii) above which extends more than twelve (12) hours. Declarant will close or permit to be closed only those portions of the Open Space which must or should reasonably be closed to effect the repairs, replacements or mitigation of hazardous site conditions to be undertaken pursuant to (i) and (ii) above, and will exercise due diligence in the performance of such repairs, replacements or mitigation such that they are completed expeditiously and the temporarily closed areas (or any portions thereof) are re-opened to the public promptly. Declarant shall provide notice to the Chair of any closure of the Open Space associated with scheduled repairs or replacements under (i) above, and anticipated closure time frame, and shall post information regarding same at appropriate locations at entrances to and within the Open Space, not less than seven (7) days prior to such closure.

5. **Representations.** Declarant hereby represents and warrants that there is no restriction of record on the development, enlargement, or use of the Subject Property, nor any present or presently existing estate or interest in the Subject Property, nor any existing lien, obligation, covenant, easement, limitation or encumbrance of any kind that shall preclude the restriction and obligation to develop and enlarge the Subject Property as a large-scale general development as set forth herein.

6. **Binding Effect.** The restrictions, covenants, rights, and agreements set forth in this Declaration shall be binding upon Declarant and any successor or assign of Declarant; provided that the Declaration shall be binding on any Declarant only for the period during which such Declarant, or any successor or assign thereof, is the holder of an interest in the Subject



Property and only to the extent of such Declarant's interest in the Subject Property. At such time as a Declarant or any successor to a Declarant no longer holds an interest in the Subject Property, such Declarant's or such Declarant's successor's obligations and liability under this Declaration shall wholly cease and terminate except with respect to any liability during the period when such Declarant held an interest in the Subject Property, and the party succeeding such Declarant or such Declarant's successor shall be deemed to have assumed the obligations and liability of Declarant pursuant to this Declaration with respect to actions or matters occurring subsequent to the date such party succeeds to an interest in the Subject Property to the extent of such party's interest in the Subject Property. For purposes of this Declaration, any successor to a Declarant shall be deemed a Declarant for such time as such successor holds all or any portion of any interest in the Subject Property.

**7. Condominium and Cooperative Ownership.**

(a) In the event that the Large Scale Development Project or any portion thereof is developed as, sold, or converted to condominium or cooperative ownership requiring the approval of the Attorney General of the State of New York (the "**Attorney General**"), Declarant shall provide a copy of this Declaration and any subsequent modification hereof to the Attorney General with the offering documents at the time of application for approval of any such condominium or cooperative offering plan. Declarant shall include in the offering plan for such condominium or cooperative this Declaration or any portions hereof which the Attorney General determines shall be included and, if so included in the offering plan, shall make copies of this Declaration available to condominium purchasers and cooperative shareholders. Such condominium or cooperative shall be deemed Declarant for purposes of this Declaration, and

shall succeed to a prior Declarant's obligations under this Declaration in accordance with Section 6 hereof.

(b) With respect to any portion of the Subject Property which shall be subject to a condominium, cooperative or similar form of ownership, for the purposes of this Declaration, except as otherwise set forth below, the board of directors or managers of the condominium, cooperative or similar association (such entity, a "**Board**") or a master association (an "**Association**") selected by the Board and authorized by underlying organizational documents to act on behalf of the individual condominium unit owners, cooperative shareholders or similar owners, shall have the sole right as Declarant to assess a lien for any costs incurred under this Declaration or to otherwise act as Declarant with respect to this Declaration, to the extent such action is required for any purpose under this Declaration, and the consent of any individual condominium unit owner, cooperative shareholder or other similar owner who may be considered a party in interest under the Zoning Resolution (a "**Party in Interest**") shall not be required. For purposes of this Declaration, the Board or the Association, as the case may be, shall be deemed the sole Party in Interest with respect to the property interest subjected to the condominium, cooperative or similar ownership arrangement, and any such condominium unit owner, cooperative shareholder or other similar owner, or holder of any lien encumbering any such individual unit, shall not be deemed a Party in Interest. For purposes of Section 10 hereof, notice to the Board or the Association, as the case may be, shall be deemed notice to the Declarant. Notwithstanding the foregoing, in the event that a condominium regime is created on the portion of the Subject Property containing the Essex Street Market, and for so long as the City is the fee owner of the condominium unit used for the Essex Street Market, the City as owner of such individual condominium unit shall be deemed the Declarant and a Party in Interest

with respect to the Essex Street Market condominium unit, and the condominium Board or Association created for such condominium regime (and not the other individual condominium unit owners) shall be deemed the Declarant and a Party in Interest with respect to all other condominium units within the regime not containing the Essex Street Market. If however, the City acquires a recorded leasehold interest in the Essex Street market rather than a fee condominium unit interest, the City shall be deemed a Declarant hereunder and the fee owner of the Property shall be a Declarant with respect to that portion of the Property not constituting the Essex Street Market.

(c) In the event the Private Development Site is sold to multiple owners for purposes of development of multiple buildings on the Private Development Site, Successor Declarants may form a property owners' association ("**POA**"), whose members shall include the owners of the Private Development Site and which POA shall be responsible for maintaining and repairing the Open Space as required herein and for all associated costs and which will assume all obligations of the Open Space Successor Declarant, consistent with Section 4(f) hereof. If a POA is formed, it shall include among its members, the condominium associations representing the owners of the individual commercial and residential condominium units in the Private Development Site.

**8. Recordation.** Declarant shall file and record this Declaration in the Office of the City Register of the City of New York (the "**Register's Office**"), indexing it against the entire Subject Property no later than ten (10) days after the Land Use Approvals (the "**Recording Date**"). Declarant shall promptly deliver to the Chair a copy of such Declaration as recorded, so certified by the Register's Office. If Declarant fails to so record this Declaration by the Recording Date, then CPC may record a duplicate original of this Declaration.

9. **Effective Date.** This Declaration and the provisions and covenants hereof shall become effective as of the date of recordation of this Declaration in accordance with Section 8 above (the "**Effective Date**").

10. **Notice.** All notices, demands, requests, consents, approvals, and other communications (each, a "**Notice**") which may be or are permitted, desirable, or required to be given under this Declaration shall be in writing and shall be sent or delivered as follows:

(a) if to Declarant:

Department of Housing Preservation and Development  
100 Gold Street  
New York, NY 10038  
Attn: General Counsel

and

New York City Economic Development Corporation  
110 William Street  
New York, NY 10038  
Attn: General Counsel

(b) if to CPC:

New York City Planning Commission  
22 Reade Street  
New York, New York 10007  
Attention: Chairperson

with a copy to:

The general counsel of CPC at the same address

(c) if to a Party-in-Interest other than Declarant:

at the address provided in writing to CPC in accordance with this Section 10

(d) if to a mortgagee of all or any portion of the Subject Property (a "**Mortgagee**"):

at the address provided in writing to CPC in accordance with this Section 10.

Declarant, CPC, any Party-in-Interest, and any Mortgagee may, by notice provided in accordance with this Section 10, change any name or address for purposes of this Declaration. In order to be deemed effective any Notice shall be sent or delivered in at least one of the following manners: (i) sent by registered or certified mail, postage pre-paid, return receipt requested, in which case the Notice shall be deemed delivered for all purposes hereunder five days after being actually mailed; (ii) sent by overnight courier service, in which case the Notice shall be deemed delivered for all purposes hereunder on the date the Notice was actually received or was refused; or (iii) delivered by hand, in which case the Notice will be deemed delivered for all purposes hereunder on the date the Notice was actually received. All Notices from CPC to Declarant shall also be sent to every Mortgagee of whom CPC has notice, and no Notice shall be deemed properly given to Declarant without such notice to such Mortgagee(s). In the event that there is more than one Declarant at any time, any Notice from the City or the CPC shall be provided to all Declarants of whom CPC has notice.

**11. Defaults and Remedies.**

(a) Declarant acknowledges that the restrictions, covenants, and obligations of this Declaration will protect the value and desirability of the Subject Property, as well as benefit the City. If Declarant fails to perform any of Declarant's obligations under this Declaration, the City shall have the right to enforce this Declaration against Declarant and exercise any administrative, legal, or equitable remedy available to the City, and Declarant hereby consents to same; provided that this Declaration shall not be deemed to diminish Declarant's or any other Party-in-Interest's right to exercise any and all administrative, legal, or equitable remedies otherwise available to it, and provided further, that the City's rights of enforcement under this Declaration shall be subject to the cure provisions and periods set forth in Section 11(c) hereof. Declarant also acknowledges

that the remedies set forth in this Declaration are not exclusive and that the City and any agency thereof may pursue other remedies not specifically set forth herein including, but not limited to, a mandatory injunction compelling Declarant to comply with the terms of this Declaration and a revocation by the City of any certificate of occupancy, temporary or permanent, for any portion of the Large Scale Development Project on the Subject Property subject to the Land Use Approvals; provided, however, that such right of revocation shall not permit or be construed to permit the revocation of any certificate of occupancy for any use or improvement that exists on the Subject Property as of the date of this Declaration.

(b) Notwithstanding any provision of this Declaration to the contrary, only Declarant, and Declarant's successors and assigns, and the City shall be entitled to enforce or assert any claim arising out of or in connection with this Declaration. Nothing contained herein should be construed or deemed to allow any other person or entity to have any interest in or right of enforcement of any provision of this Declaration or any document or instrument executed or delivered in connection with the Land Use Applications. In any proceedings brought by the City against Declarant seeking to deny or revoke building permits or certificates of occupancy with respect to the Large Scale Development Project on the Subject Property, or to revoke any special permits approved by the Land Use Approvals, or to impose a lien, fine or other penalty, or to pursue any other remedy available to the City, if the event or occurrence which is the basis of an allegation of a failure to comply by Declarant is associated with a particular Site or portion(s) of a Site developed as part of the Large Scale Development Project on the Subject Property, then the City shall only deny or seek the revocation of building permits or certificates of occupancy for such Site(s) or portion(s) of a Site, and only seek to impose a fine, lien or other penalty on such Site(s) or portion(s) of a Site, and any such event or occurrence shall not provide the basis for

denial or revocation of the special permits approved by the Land Use Approvals or building permits or certificates of occupancy, or the imposition of any fine, lien or other penalty, with respect to other Site(s) or portion(s) of a Site comprising a portion of the Large Scale Development Project on the Subject Property for which no such failure to comply has occurred.

(c) Prior to the City instituting any proceeding to enforce the terms or conditions of this Declaration due to any alleged violation hereof, the City shall give Declarant, every Mortgagee and every Party-in-Interest thirty (30) business days written notice of such alleged violation, except in the event Declarant has prohibited access to the Open Space other than as permitted under Section 4 hereof (in which case the cure period for providing such access shall be reduced to twenty-four (24) hours), during which period Declarant, any Party-in-Interest and any Mortgagee shall have the opportunity to effect a cure of such alleged violation or to demonstrate to City why the alleged violation has not occurred. If a Mortgagee or Party-in-Interest performs any obligation or effects any cure Declarant is required to perform or cure pursuant to this Declaration, such performance or cure shall be deemed performance on behalf of Declarant and shall be accepted by any person or entity benefited hereunder, including CPC and City, as if performed by Declarant. If Declarant, any Party-in-Interest or Mortgagee commences to effect such cure within such thirty (30) day period (or if cure is not capable of being commenced within such thirty (30) day period, Declarant, any Party-in-Interest or Mortgagee commences to effect such cure when such commencement is reasonably possible), or within twenty four (24) hours with respect to a denial of access to the Open Space, and thereafter proceeds diligently toward the effectuation of such cure, the aforesaid thirty (30) day period (as such may be extended or shortened in accordance with the preceding clause) shall be extended for so long as Declarant, any Party-in-Interest or Mortgagee continues to proceed

diligently with the effectuation of such cure, as determined by the City. In the event ownership of any of the Sites is held by multiple Successor Declarants, notice as to those Sites shall be provided to all Successor Declarants of such Sites from whom City has received notice in accordance with Section 10 hereof, and the right to cure shall apply equally to all Successor Declarants of such Sites.

(d) If, after due notice and opportunity to cure as set forth in this Declaration, Declarant, Mortgagee or a Party-in-Interest shall fail to cure the alleged violation, the City may exercise any and all of its rights, including without limitation those delineated in this Section 11 and may disapprove any amendment, modification or cancellation of this Declaration on the sole ground that Declarant is in default of a material obligation under this Declaration. Notwithstanding the foregoing, in the event of a denial of public access to the Open Space, Declarant shall have the opportunity to effect a cure of such denial within twenty-four (24) hours of receipt thereof. If such denial of access continues beyond such period, the City may thereupon exercise any and all of its rights, including seeking a mandatory injunction, and the provisions of this Section 11 shall not apply to the denial of public access. The time period for curing any violation by Declarant, Mortgagee, and/or Party-in-Interest shall be subject to extension for Uncontrollable Circumstances pursuant to Section 11(e) hereof.

(e) (i) In the event that, as the result of Uncontrollable Circumstances, Declarant is unable to perform or complete any obligation (A) at the time or times required by this Declaration; (B) at the date set forth in this Declaration for such action, if a specific date for such requirement is set forth herein; or (C) prior to submitting an application for a building permit or other permit or certificate of occupancy which is conditioned on the completion of such requirement, where applicable, Declarant shall, within forty-eight (48) hours after the occurrence



of such Uncontrollable Circumstances becomes apparent so notify the Chair in writing. Such notice (the “**Delay Notice**”) shall include a description of the Uncontrollable Circumstances, and, if known to Declarant, their cause and probable duration. In the exercise of his or her reasonable judgment, in consultation with HPD and NYCEDC, the Chair shall, within thirty (30) days of its receipt of the Delay Notice, (x) certify in writing that the Uncontrollable Circumstances have occurred, or (y) notify Declarant that it does not reasonably believe that the Uncontrollable Circumstances have occurred. Failure to respond within such thirty (30) day period shall be deemed to be a determination by the Chair that Uncontrollable Circumstances have not occurred. Upon a certification that Uncontrollable Circumstances have occurred, the Chair may grant Declarant the requested relief, either in whole or in part, and, as a condition of the granting of such relief, the Chair may also require that Declarant post a bond, letter of credit or other security in a form reasonably acceptable to the Chair in order to ensure that the obligation will be completed in accordance with the provisions of this Declaration.

(ii) “**Uncontrollable Circumstances**” shall mean: delays from any and all causes beyond Declarant’s reasonable control, including, without limitation, delays resulting from (A) orders of any court of competent jurisdiction, (B) labor disputes (including strikes, lockouts not caused by Declarant, slowdowns and similar labor problems), (C) accident, mechanical breakdown, shortages or inability to obtain labor, fuel, steam, water, electricity, equipment, supplies or materials (for which no substitute is readily available at a comparable price), (D) acts of God (including inordinately severe weather conditions), and (E) war, sabotage, hostilities, invasion, insurrection, riot, acts of terrorism, mob violence, malicious mischief, embargo, quarantines, national, regional or local disasters, calamities or catastrophes, national

emergencies, enemy or hostile governmental action, civil disturbance or commotion, earthquake, flood, fire or other casualty of which Declarant has given the Chair notice.

**12. Applications.**

(a) Declarant and/or Declarant's successors or assigns shall include a copy of this Declaration with any application made to DOB for a foundation, new building, alteration, or other permit for any portion of the Large Scale Development Project subject to the Land Use Approvals. Nothing in this Declaration, including but not limited to the declaration and covenant made in Section 1 hereof to develop and enlarge the Subject Property as a single unit, shall be construed to prohibit or preclude Declarant from filing for, or DOB from issuing, any permit for all or any portion of the Large Scale Development Project, in such phase or order as the City sees fit in the City's sole discretion.

(b) Subject to the requirements of Section 13 hereof, nothing in this Declaration shall be construed to prevent Declarant or any of Declarant's successors or assigns from making any application of any sort to any governmental agency or department (each an "Agency") in connection with the development of the Subject Property; provided, that Declarant shall include a copy of this Declaration in connection with any application for any such discretionary approval, and provided that nothing in this Section 12(b) shall be construed as superseding the requirements, restrictions, or approvals that may be required under agreements with any other Agency or the City.

**13. Amendment, Modification and Cancellation.**

(a) This Declaration may be amended, cancelled, or modified upon application by Declarant and Successor Declarants, collectively, and upon the express written approval of CPC

or an agency succeeding to CPC's jurisdiction. No other approval shall be required from any other public body, private person, or legal entity of any kind, except as set forth below.

(b) For so long as the City is a Declarant hereunder, all Successor Declarants and other future Parties-in-Interest expressly consent to any application for amendment, cancellation or modification to the Large Scale Development Project and/or this Declaration made by the City (acting by and through HPD and NYCEDC) with respect to any portion of the Subject Property which is then in City ownership. At the time of any such application by the City, any Successor Declarants or other future Parties-in-Interest shall confirm their consent to such City application to the Chair and shall execute any and all documents, including amendments or modifications to this Declaration required in connection therewith, within fifteen (15) days of the City's request therefor.

(c) In the event fee title to the Subject Property or any portion thereof is transferred to a Successor Declarant, all Successor Declarants and other future Parties-in-Interest expressly consent to any application for amendment, cancellation or modification to the Large Scale Development Project and/or this Declaration made by any Successor Declarant with respect to the Subject Property or such portion thereof, as the case may be, transferred to such Successor Declarant; provided however, that consent of the City (acting by and through HPD and NYCEDC) shall be required in certain circumstances as set forth in Section 13(d) below. At the time of any such application by any Successor Declarant, any other Successor Declarants or other future Parties-in-Interest shall confirm their consent to such Successor Declarant application to the Chair and shall execute any and all documents, including amendments or modifications to this Declaration required in connection therewith, within fifteen (15) days of the City's request therefor.

(d) Notwithstanding anything to the contrary contained in Section 13(a) and 13(c) above, the express written consent of the City (acting by and through HPD and NYCEDC) shall be required before a Successor Declarant may apply for an amendment or modification to the Large Scale Development Project and/or this Declaration, with respect to the Subject Property or portion thereof transferred to such Successor Declarant, concerning the following elements: (i) maximum total floor area, (ii) maximum floor area per use, (iii) limitation of off-street public parking as set forth in Section 2(c) hereof, (iv) obligation to construct the Open Space as set forth in Section 4(a) hereof, and (v) the Prior Zoning Development set forth in Section 2(b)(i) or the Alternative Development set forth in Section 2(b)(ii) hereof.

(e) Notwithstanding anything to the contrary contained in Sections 13(a) hereof, any change to this Declaration which the Chair deems to be a minor modification of this Declaration, may by express written consent be approved administratively by the Chair and no other approval or consent shall be required from any public body, private person or legal entity of any kind. Such minor modifications shall not be deemed amendments requiring the approval of CPC.

(f) No development other than the development permitted by the Large Scale Development Project as forth in Section 2(a), or if the large-scale general development special permit is not exercised, the Prior Zoning Development set forth in Section 2(b)(i), shall be permitted on the Subject Property; provided, however, that the Alternative Development set forth in Section 2(b)(ii) shall also be permitted if (i) CPC has reviewed and approved of the Alternative Development, (ii) Declarant has submitted a Technical Memorandum to DCP demonstrating that the Alternative Development will not result in any greater adverse environmental impacts than have been identified in the FEIS, and (iii) drawings reflecting the proposed Alternative Development have been submitted in a form acceptable to DCP and have

been incorporated into this Declaration pursuant to Section 13(a) above. Declarant shall not apply for or accept building permits for any Alternative Development until the Chair certifies to DOB that CPC has approved the plans for the proposed Alternative Development and a Technical Memorandum has been submitted to DCP demonstrating that the proposed Alternative Development will not result in any greater adverse environmental impacts than have been identified in the FEIS.

(g) Notwithstanding anything to the contrary contained in this Declaration, if all the Land Use Approvals, as approved or modified by the City Council, given in connection with the Land Use Applications are declared invalid or otherwise voided by a final judgment of any court of competent jurisdiction from which no appeal can be taken or for which no appeal has been taken within the applicable statutory period provided for such appeal, then, upon entry of said judgment or the expiration of the applicable statutory period for such appeal, this Declaration shall be cancelled and shall be of no further force or effect and an instrument discharging it may be recorded. Prior to the recordation of such instrument, Declarants shall notify the Chair of Declarants' intent to discharge this Declaration and request the Chair's approval, which approval shall be limited to insuring that such discharge and termination is in proper form and provides the proper provisions which are not discharged survive such termination. Upon recordation of such instrument, Declarants shall provide a copy thereof to CPC so certified by the Register's Office. If some of the Land Use Approvals given in connection with the Land Use Applications are declared invalid, then Declarants may apply for modification, amendment or cancellation of this Declaration in accordance with this Section 13. In the event the large-scale general development special permit is invalidated, but the Zoning Map Amendment is upheld, the

restrictions of Section 2(b)(i) and 2(b)(ii) remain in effect, and an amended Declaration shall be recorded for such purpose.

14. **Severability.** In the event that any of the provisions of the Declaration shall be deemed, decreed, adjudged, or determined to be invalid or unlawful by a court of competent jurisdiction, such provision shall be severable and the remainder of this Declaration shall continue to be in full force and effect.

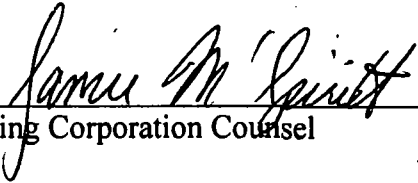
15. **Applicable Law.** This Declaration shall be governed and construed by the laws of the State of New York, without regard to principles of conflicts of law.


[Signature page follows]

IN WITNESS WHEREOF, the undersigned have executed this Declaration as of the date first written above.

**THE CITY OF NEW YORK, acting by and through its DEPARTMENT OF HOUSING PRESERVATION AND DEVELOPMENT**

Approved as to Form:

  
\_\_\_\_\_  
Acting Corporation Counsel

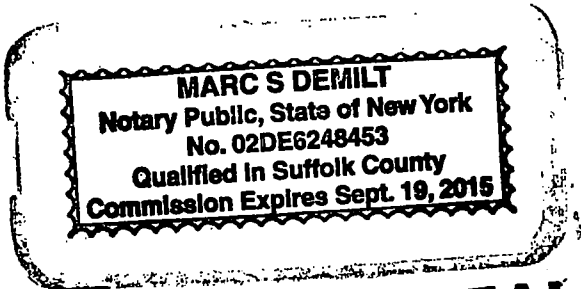
By:   
\_\_\_\_\_  
Name: VICKI BEEN  
Title: COMMISSIONER

ACKNOWLEDGEMENT

STATE OF *New York* )  
  ) SS.:  
COUNTY OF *New York* )

On the 6<sup>th</sup> day of March, 20 15, before me, the undersigned, personally appeared Vicki Been, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same in his/her capacity, and that his/her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
\_\_\_\_\_  
Notary Public



**SEAL**



**EXHIBIT A**

**SUBJECT PROPERTY DESCRIPTION**

**Site 1**

**METES & BOUNDS DESCRIPTION  
LOT 56, BLOCK 409  
BOROUGH OF MANHATTAN  
CITY, COUNTY AND STATE OF NEW YORK**

BEGINNING AT A POINT SAID POINT BEING FORMED BY THE INTERSECTION OF THE NORTHEASTERLY LINE OF LUDLOW STREET (VARIABLE WIDTH) WITH THE NORTHWESTERLY LINE OF BROOME STREET (VARIABLE WIDTH) AND FROM SAID BEGINNING POINT RUNNING, THENCE;

1. RUNNING NORTHWESTERLY, ALONG SAID NORTHEASTERLY LINE OF LUDLOW STREET, A DISTANCE OF 151.33 FEET TO A POINT, THENCE ALONG THE DIVIDING LINE BETWEEN LOTS 56 AND 39, BLOCK 409 FOR THE FOLLOWING (3) THREE COURSES:
2. RUNNING NORTHEASTERLY, FORMING AN INTERIOR ANGLE OF 89 DEGREES – 30 MINUTES – 31 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 87.79 FEET TO A POINT, THENCE;
3. RUNNING NORTHWESTERLY, FORMING AN EXTERIOR ANGLE OF 91 DEGREES – 55 MINUTES – 45 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 3.00 FEET TO A POINT, THENCE;
4. RUNNING NORTHEASTERLY, FORMING AN INTERIOR ANGLE OF 91 DEGREES – 48 MINUTES – 35 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 87.79 FEET TO A POINT, THENCE;
5. RUNNING SOUTHEASTERLY, ALONG THE SOUTHWESTERLY LINE OF ESSEX STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 24 MINUTES – 09 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 58.87 FEET TO A POINT, RUNNING THENCE ALONG THE DIVIDING LINE BETWEEN LOTS 56 AND 60, BLOCK 409 FOR THE FOLLOWING (2) TWO COURSES:
6. RUNNING SOUTHWESTERLY, FORMING AN INTERIOR ANGLE OF 89 DEGREES – 47 MINUTES – 04 SECONDS, A DISTANCE OF 50.44 FEET TO A POINT, THENCE;
7. RUNNING SOUTHEASTERLY, FORMING AN EXTERIOR ANGLE OF 89 DEGREES – 59 MINUTES – 05 SECONDS, A DISTANCE OF 95.46 FEET TO A POINT, THENCE;
8. RUNNING SOUTHWESTERLY, ALONG THE AFOREMENTIONED NORTHWESTERLY LINE OF BROOME STREET, FORMING AN INTERIOR ANGLE OF 89 DEGREES – 48 MINUTES – 13 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 124.37 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 21,996 SQUARE FEET OR 0.505 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO THE TAX MAP OF THE BOROUGH OF MANHATTAN, CITY COUNTY AND STATE OF NEW YORK.

(VESTING DEED NOT PROVIDED)

## Site 2

METES & BOUNDS DESCRIPTION  
LOTS 1 & 28, BLOCK 352  
BOROUGH OF MANHATTAN  
CITY, COUNTY AND STATE OF NEW YORK

BEGINNING AT A POINT SAID POINT BEING FORMED BY THE INTERSECTION OF THE SOUTHEASTERLY LINE OF DELANCEY STREET (VARIABLE WIDTH) WITH THE SOUTHWESTERLY LINE OF NORFOLK STREET (VARIABLE WIDTH) AND FROM SAID BEGINNING POINT RUNNING, THENCE;

1. RUNNING SOUTHEASTERLY, ALONG SAID SOUTHWESTERLY LINE OF NORFOLK STREET, A DISTANCE OF 252.43 FEET TO A POINT, THENCE;
2. RUNNING SOUTHWESTERLY, ALONG THE NORTHWESTERLY LINE OF BROOME STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 89 DEGREES – 44 MINUTES – 51 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 170.82 FEET TO A POINT, THENCE;
3. RUNNING NORTHWESTERLY, ALONG THE NORTHEASTERLY LINE OF ESSEX STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 14 MINUTES – 04 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 252.54 FEET TO A POINT, THENCE;
4. RUNNING NORTHEASTERLY, ALONG THE AFOREMENTIONED SOUTHEASTERLY LINE OF DELANCEY STREET, FORMING AN INTERIOR ANGLE OF 89 DEGREES – 44 MINUTES – 45 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 171.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 43,140 SQUARE FEET OR 0.990 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO THE BOROUGH OF MANHATTAN, FINAL SECTION MAP NO. 21, PREPARED BY THE OFFICE OF THE PRESIDENT OF THE BOROUGH OF MANHATTAN, TOPOGRAPHICAL BUREAU.

### Site 3

A PARCEL OF LAND LYING IN MANHATTAN, NEW YORK, IN TAX BLOCK NO. 346, ENCLOSED BY FOUR STREETS: AT NORTH BY DELANCEY STREET; AT EAST BY SUFFOLK STREET; AT SOUTH BY BROOME STREET; AND AT WEST BY NORFOLK STREET. MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT SAID POINT BEING FORMED BY THE INTERSECTION OF THE SOUTHEASTERLY LINE OF DELANCEY STREET (VARIABLE WIDTH) WITH THE NORTHEASTERLY LINE OF NORFOLK STREET (VARIABLE WIDTH) AND FROM SAID BEGINNING POINT RUNNING, THENCE;

1. RUNNING NORTHEASTERLY, ALONG SAID SOUTHEASTERLY LINE OF DELANCEY STREET, A DISTANCE OF 200.66 FEET TO A POINT, THENCE;
2. RUNNING SOUTHEASTERLY, ALONG THE SOUTHWESTERLY LINE OF SUFFOLK STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 23 MINUTES – 35 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 202.78 FEET TO A POINT, THENCE;
3. RUNNING SOUTHWESTERLY, ALONG THE NORTHWESTERLY LINE OF BROOME STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 89 DEGREES – 39 MINUTES – 24 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 200.85 FEET TO A POINT, THENCE;
4. RUNNING NORTHWESTERLY, ALONG THE AFOREMENTIONED NORTHEASTERLY LINE OF NORFOLK STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 17 MINUTES – 22 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 202.95 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 40,726 SQUARE FEET OR 0.935 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO A MAP ENTITLED "ALTERATION MAP NO. 30236 SHOWING THE ESTABLISHMENT OF BROOME STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF SUFFOLK STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF CLINTON STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF DELANCEY STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF THE NAME DELANCEY STREET FOR THE UNNAMED STREET BETWEEN CLINTON STREET AND FRANKLIN D. ROOSEVELT DRIVE AND THE ADJUSTMENT OF GRADES NECESSITATED THEREBY" PREPARED BY CITY OF NEW YORK, BOROUGH OF MANHATTAN, OFFICE OF THE PRESIDENT, TOPOGRAPHICAL BUREAU.

**Site 4**

A PARCEL OF LAND LYING IN MANHATTAN, NEW YORK, IN TAX BLOCK NO. 346, ENCLOSED BY FOUR STREETS: AT NORTH BY DELANCEY STREET; AT EAST BY CLINTON STREET; AT SOUTH BY BROOME STREET; AND AT WEST BY SUFFOLK STREET. MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT SAID POINT BEING FORMED BY THE INTERSECTION OF THE SOUTHEASTERLY LINE OF DELANCEY STREET (VARIABLE WIDTH) WITH THE SOUTHWESTERLY LINE OF CLINTON STREET (50 FEET WIDE) AND FROM SAID BEGINNING POINT RUNNING, THENCE;

1. RUNNING SOUTHEASTERLY, ALONG SAID SOUTHWESTERLY LINE OF CLINTON STREET, A DISTANCE OF 201.91 FEET TO A POINT, THENCE;
2. RUNNING SOUTHWESTERLY, ALONG THE NORTHWESTERLY LINE OF BROOME STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 89 DEGREES – 50 MINUTES – 58 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 200.88 FEET TO A POINT, THENCE;
3. RUNNING NORTHWESTERLY, ALONG THE NORTHEASTERLY LINE OF SUFFOLK STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 10 MINUTES – 22 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 202.50 FEET TO A POINT, THENCE;
4. RUNNING NORTHEASTERLY, ALONG THE AFOREMENTIONED SOUTHEASTERLY LINE OF DELANCEY STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 89 DEGREES – 39 MINUTES – 28 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 200.96 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 40,627 SQUARE FEET OR 0.933 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO A MAP ENTITLED "ALTERATION MAP NO. 30236 SHOWING THE ESTABLISHMENT OF BROOME STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF SUFFOLK STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF CLINTON STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF DELANCEY STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF THE NAME DELANCEY STREET FOR THE UNNAMED STREET BETWEEN CLINTON STREET AND FRANKLIN D. ROOSEVELT DRIVE AND THE ADJUSTMENT OF GRADES NECESSITATED THEREBY" PREPARED BY CITY OF NEW YORK, BOROUGH OF MANHATTAN, OFFICE OF THE PRESIDENT, TOPOGRAPHICAL BUREAU.

## Site 5

A PARCEL OF LAND LYING IN MANHATTAN, NEW YORK, IN TAX BLOCK NO. 346, ENCLOSED BY FOUR STREETS: AT NORTH BY BROOME STREET; AT EAST BY CLINTON STREET; AT SOUTH BY GRAND STREET; AND AT WEST BY SUFFOLK STREET. MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT SAID POINT BEING FORMED BY THE INTERSECTION OF THE NORTHEASTERLY LINE OF GRAND STREET (100 FEET WIDE) WITH THE NORTHWESTERLY LINE OF CLINTON STREET (50 FEET WIDE) AND FROM SAID BEGINNING POINT RUNNING, THENCE;

1. RUNNING NORTHWESTERLY, ALONG SAID NORTHEASTERLY LINE OF GRAND STREET, A DISTANCE OF 200.68 FEET TO A POINT, THENCE;
2. RUNNING NORTHEASTERLY, ALONG THE SOUTHEASTERLY LINE OF SUFFOLK STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 16 MINUTES – 10 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 301.58 FEET TO A POINT, THENCE;
3. RUNNING SOUTHEASTERLY, ALONG THE SOUTHEASTERLY LINE OF BROOME STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 89 DEGREES 48' 45" WITH THE PREVIOUS COURSE A DISTANCE OF 200.80 FEET TO A POINT, THENCE;
4. RUNNING SOUTHEASTERLY, ALONG THE AFOREMENTIONED NORTHWESTERLY LINE OF CLINTON STREET FORMING AN INTERIOR ANGLE OF 90 DEGREES – 09 MINUTES – 49 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 301.87 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 60,568 SQUARE FEET OR 1.390 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO A MAP ENTITLED "ALTERATION MAP NO. 30236 SHOWING THE ESTABLISHMENT OF BROOME STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF SUFFOLK STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF CLINTON STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF DELANCEY STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF THE NAME DELANCEY STREET FOR THE UNNAMED STREET BETWEEN CLINTON STREET AND FRANKLIN D. ROOSEVELT DRIVE AND THE ADJUSTMENT OF GRADES NECESSITATED THEREBY" PREPARED BY CITY OF NEW YORK, BOROUGH OF MANHATTAN, OFFICE OF THE PRESIDENT, TOPOGRAPHICAL BUREAU.

### Site 6

A PARCEL OF LAND LYING IN MANHATTAN, NEW YORK, IN TAX BLOCK NO. 347, ENCLOSED BY THREE STREETS AND LOT 80: AT NORTH BY DELANCEY STREET; AT EAST BY LOT 80; AT SOUTH BY BROOME STREET; AND AT WEST BY CLINTON STREET. MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE POINT AT THE INTERSECTION OF THE NORTHWESTERLY LINE OF BROOME STREET (VARIABLE WIDTH) AND THE NORTHEASTERLY LINE OF CLINTON STREET (VARIABLE WIDTH) AND FROM SAID POINT OF BEGINNING, RUNNING THENCE;

1. RUNNING NORTHWESTERLY, ALONG SAID NORTHEASTERLY LINE OF CLINTON STREET, A DISTANCE OF 146.24 FEET TO A POINT, THENCE;
2. RUNNING NORTHEASTERLY, ALONG THE SOUTHEASTERLY LINE OF DELANCEY STREET, FORMING AN INTERIOR ANGLE OF 89 DEGREES – 46 MINUTES – 04 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 146.00 FEET TO A POINT, THENCE;
3. RUNNING SOUTHEASTERLY, ALONG THE DIVIDING LINE BETWEEN LOT 71 AND LOT 80, BLOCK 374 FORMING AN INTERIOR ANGLE OF 90 DEGREES – 13 MINUTES – 55 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 146.14 FEET TO A POINT, THENCE;
4. RUNNING SOUTHWESTERLY, ALONG THE AFOREMENTIONED NORTHWESTERLY LINE OF BROOME STREET FORMING AN INTERIOR ANGLE OF 89 DEGREES – 48 MINUTES – 35 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 146.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 21,344 SQUARE FEET OR 0.490 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO A MAP ENTITLED "ALTERATION MAP NO. 30236 SHOWING THE ESTABLISHMENT OF BROOME STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF SUFFOLK STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF CLINTON STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF DELANCEY STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF THE NAME DELANCEY STREET FOR THE UNNAMED STREET BETWEEN CLINTON STREET AND FRANKLIN D. ROOSEVELT DRIVE AND THE ADJUSTMENT OF GRADES NECESSITATED THEREBY" PREPARED BY CITY OF NEW YORK, BOROUGH OF MANHATTAN, OFFICE OF THE PRESIDENT, TOPOGRAPHICAL BUREAU.

**EXHIBIT B**

**CERTIFICATION OF PARTIES-IN-INTEREST**

**(SEPARATE ATTACHMENT)**

**CERTIFICATION OF PARTIES IN INTEREST  
PURSUANT TO SUBDIVISION (D) OF THE DEFINITION OF  
ZONING LOT SET FORTH IN SECTION 12-10 OF  
THE ZONING RESOLUTION OF DECEMBER 15, 1961  
OF THE CITY OF NEW YORK, AS AMENDED  
EFFECTIVE AUGUST 18, 1977**

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**THE NEW YORK CITY LAW DEPARTMENT** hereby certifies that as to the land hereinafter described, being a tract of land, either unsubdivided or consisting of two or more lots of record, contiguous for a minimum of ten linear feet, located within a single block, that all the parties in interest consisting of a party as defined in Section 12-10, subdivision (d) of the Zoning Resolution of the City of New York, effective December 15, 1961, as amended, are the following:

**NAME AND ADDRESS**

**NATURE OF INTEREST**

1. The City of New York

Fee Owner of Tax Lot 56, Block 409



The subject tract of land with respect to which the foregoing parties are the parties in interest as aforesaid, is known as Tax Lot 56 in Block 409 as shown on the Tax Map of the City of New York, New York County and more particularly described as follows:

**Site 1**

**METES & BOUNDS DESCRIPTION  
LOT 56, BLOCK 409  
BOROUGH OF MANHATTAN  
CITY, COUNTY AND STATE OF NEW YORK**

BEGINNING AT A POINT SAID POINT BEING FORMED BY THE INTERSECTION OF THE NORTHEASTERLY LINE OF LUDLOW STREET (VARIABLE WIDTH) WITH THE NORTHWESTERLY LINE OF BROOME STREET (VARIABLE WIDTH) AND FROM SAID BEGINNING POINT RUNNING, THENCE;

1. RUNNING NORTHWESTERLY, ALONG SAID NORTHEASTERLY LINE OF LUDLOW STREET, A DISTANCE OF 151.33 FEET TO A POINT, THENCE ALONG THE DIVIDING LINE BETWEEN LOTS 56 AND 39, BLOCK 409 FOR THE FOLLOWING (3) THREE COURSES:
2. RUNNING NORTHEASTERLY, FORMING AN INTERIOR ANGLE OF 89 DEGREES – 30 MINUTES – 31 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 87.79 FEET TO A POINT, THENCE;
3. RUNNING NORTHWESTERLY, FORMING AN EXTERIOR ANGLE OF 91 DEGREES – 55 MINUTES – 45 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 3.00 FEET TO A POINT, THENCE;
4. RUNNING NORTHEASTERLY, FORMING AN INTERIOR ANGLE OF 91 DEGREES – 48 MINUTES – 35 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 87.79 FEET TO A POINT, THENCE;
5. RUNNING SOUTHEASTERLY, ALONG THE SOUTHWESTERLY LINE OF ESSEX STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 24 MINUTES – 09 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 58.87 FEET TO A POINT, RUNNING THENCE ALONG THE DIVIDING LINE BETWEEN LOTS 56 AND 60, BLOCK 409 FOR THE FOLLOWING (2) TWO COURSES:
6. RUNNING SOUTHWESTERLY, FORMING AN INTERIOR ANGLE OF 89 DEGREES – 47 MINUTES – 04 SECONDS, A DISTANCE OF 50.44 FEET TO A POINT, THENCE;
7. RUNNING SOUTHEASTERLY, FORMING AN EXTERIOR ANGLE OF 89 DEGREES – 59 MINUTES – 05 SECONDS, A DISTANCE OF 95.46 FEET TO A POINT, THENCE;
8. RUNNING SOUTHWESTERLY, ALONG THE AFOREMENTIONED NORTHWESTERLY LINE OF BROOME STREET, FORMING AN INTERIOR ANGLE OF 89 DEGREES – 48 MINUTES – 13 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 124.37 FEET TO THE POINT AND PLACE OF BEGINNING.

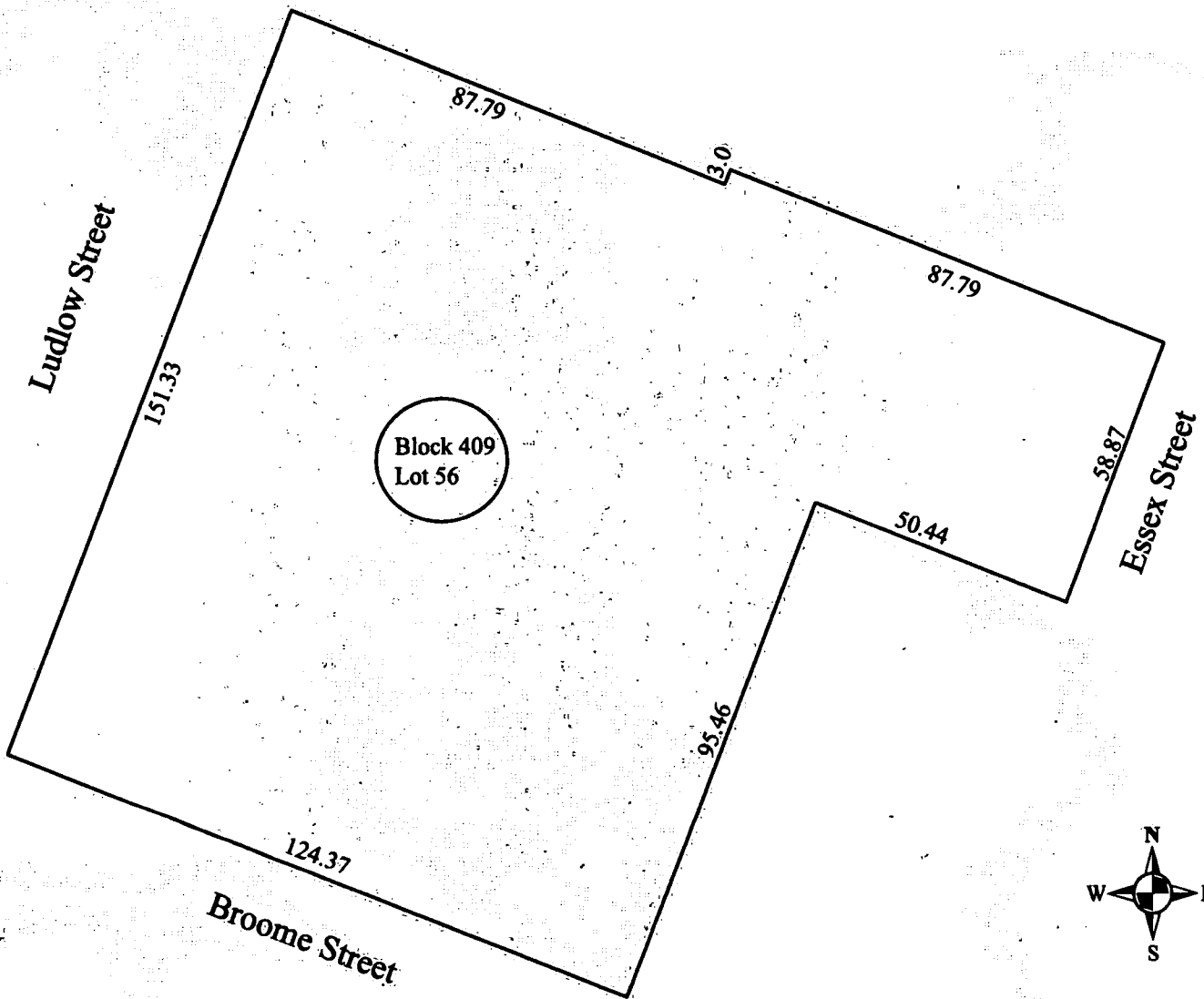
CONTAINING 21,996 SQUARE FEET OR 0.505 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO THE TAX MAP OF THE BOROUGH OF MANHATTAN, CITY COUNTY AND STATE OF NEW YORK.

(VESTING DEED NOT PROVIDED)

That the said premises are known as and by street address 236 BROOME STREET, NEW YORK, NEW YORK, as shown on the following diagram:

Site 1  
Block 409, Lot 56 (236 Broome Street)



024 8 1216 Feet

**NOTE:** A Zoning Lot may or may not coincide with a lot as shown on the Official Tax Map of the City of New York, or on any recorded subdivision plot or deed. A Zoning Lot may be subdivided into two or more zoning lots provide all the resulting zoning lots and all the buildings thereon shall comply with the applicable provisions of the zoning lot resolution.

Dated: December 19, 2014

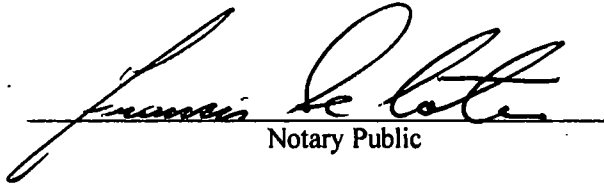
THE NEW YORK CITY LAW DEPARTMENT

By: Emily Keyes  
Name: Emily Keyes  
Title: Senior Closing and Title Counsel

STATE OF NEW YORK )  
 )  
COUNTY OF NEW YORK )

ss.:

On the 19<sup>th</sup> day of DECEMBER, 2014 before me, the undersigned, personally appeared Emily Keyes, personally known to me or proved to me the basis of satisfactory evidence to the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
Notary Public

FRANCIS A. DECOTEAU  
Commissioner of Deeds  
City of New York No. 2-12739  
Certificate Filed in New York County  
Commission Expires July 1, 2015

**SEAL**

**CERTIFICATION OF PARTIES IN INTEREST  
PURSUANT TO SUBDIVISION (D) OF THE DEFINITION OF  
ZONING LOT SET FORTH IN SECTION 12-10 OF  
THE ZONING RESOLUTION OF DECEMBER 15, 1961  
OF THE CITY OF NEW YORK, AS AMENDED  
EFFECTIVE AUGUST 18, 1977**

---

**THE NEW YORK CITY LAW DEPARTMENT** hereby certifies that as to the land hereinafter described, being a tract of land, either unsubdivided or consisting of two or more lots of record, contiguous for a minimum of ten linear feet, located within a single block, that all the parties in interest consisting of a party as defined in Section 12-10, subdivision (d) of the Zoning Resolution of the City of New York, effective December 15, 1961, as amended, are the following:

**NAME AND ADDRESS**

**NATURE OF INTEREST**

1. The City of New York

Fee Owner of Tax Lots 1 and 28, Block 352

The subject tract of land with respect to which the foregoing parties are the parties in interest as aforesaid, is known as Tax Lots 1 and 28 in Block 352 as shown on the Tax Map of the City of New York, New York County and more particularly described as follows:

**Site 2**

**METES & BOUNDS DESCRIPTION  
LOTS 1 & 28, BLOCK 352  
BOROUGH OF MANHATTAN  
CITY, COUNTY AND STATE OF NEW YORK**

BEGINNING AT A POINT SAID POINT BEING FORMED BY THE INTERSECTION OF THE SOUTHEASTERLY LINE OF DELANCEY STREET (VARIABLE WIDTH) WITH THE SOUTHWESTERLY LINE OF NORFOLK STREET (VARIABLE WIDTH) AND FROM SAID BEGINNING POINT RUNNING, THENCE;

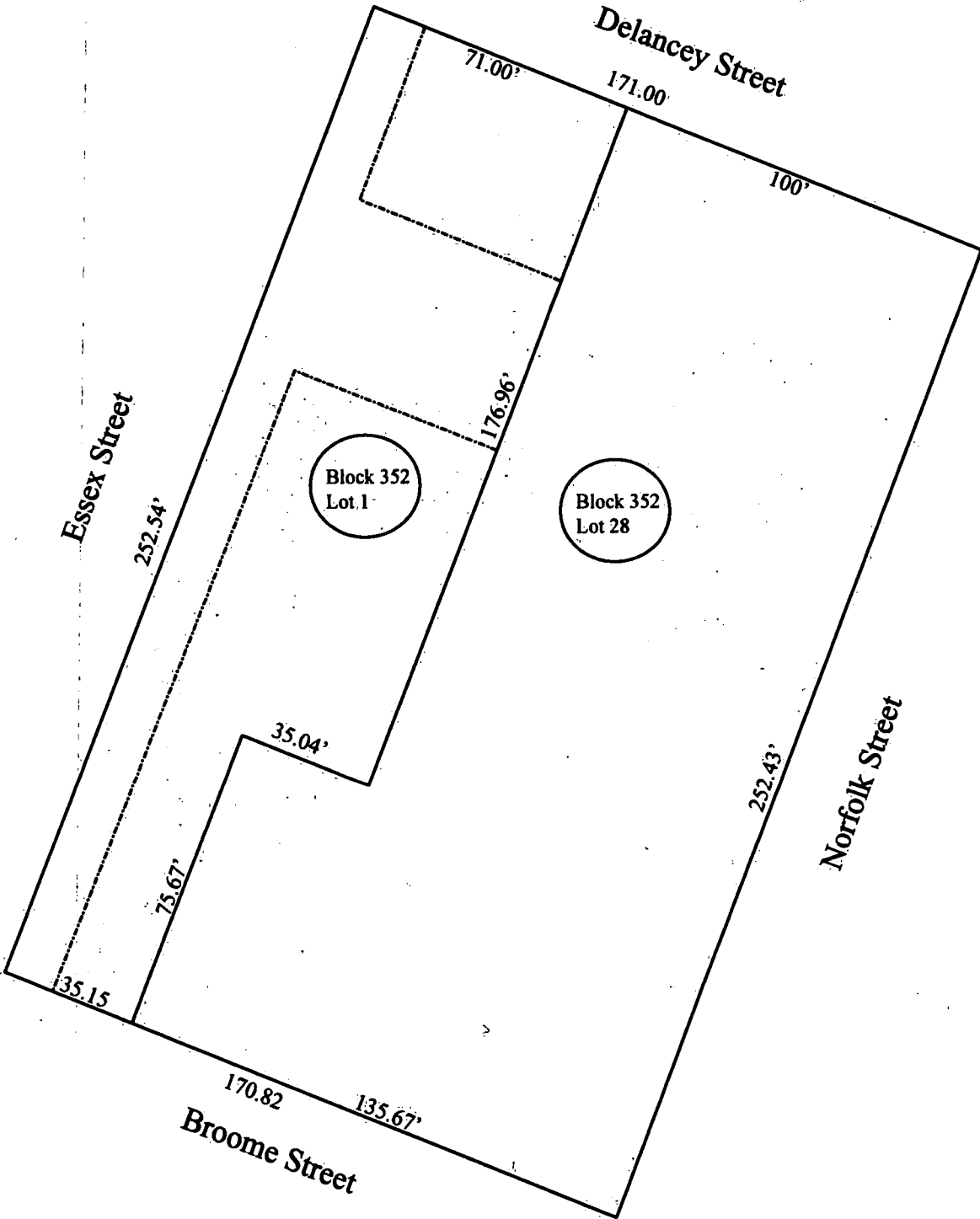
1. RUNNING SOUTHEASTERLY, ALONG SAID SOUTHWESTERLY LINE OF NORFOLK STREET, A DISTANCE OF 252.43 FEET TO A POINT, THENCE;
2. RUNNING SOUTHWESTERLY, ALONG THE NORTHWESTERLY LINE OF BROOME STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 89 DEGREES - 44 MINUTES - 51 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 170.82 FEET TO A POINT, THENCE;
3. RUNNING NORTHWESTERLY, ALONG THE NORTHEASTERLY LINE OF ESSEX STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES - 14 MINUTES - 04 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 252.54 FEET TO A POINT, THENCE;
4. RUNNING NORTHEASTERLY, ALONG THE AFOREMENTIONED SOUTHEASTERLY LINE OF DELANCEY STREET, FORMING AN INTERIOR ANGLE OF 89 DEGREES - 44 MINUTES - 45 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 171.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 43,140 SQUARE FEET OR 0.990 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO THE BOROUGH OF MANHATTAN, FINAL SECTION MAP NO. 21, PREPARED BY THE OFFICE OF THE PRESIDENT OF THE BOROUGH OF MANHATTAN, TOPOGRAPHICAL BUREAU.

That the said premises are known as and by street addresses 80 ESSEX STREET, NEW YORK, NEW YORK and 80 NORFOLK STREET, NEW YORK, NEW YORK, respectively, as shown on the following diagram:

Site 2  
Block 352, Lot 1 (80 Essex Street)  
Block 352, Lot 28 (85 Norfolk Street)



**NOTE:** A Zoning Lot may or may not coincide with a lot as shown on the Official Tax Map of the City of New York, or on any recorded subdivision plot or deed. A Zoning Lot may be subdivided into two or more zoning lots provide all the resulting zoning lots and all the buildings thereon shall comply with the applicable provisions of the zoning lot resolution.

Dated: December 19, 20 14

THE NEW YORK CITY LAW DEPARTMENT

By: Emily Keyes  
Name: Emily Keyes  
Title: Senior Closing and Title Counsel

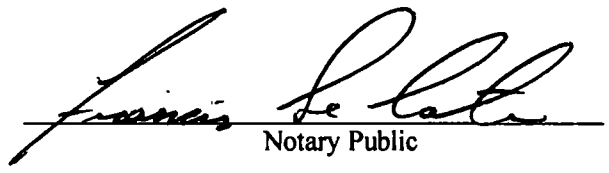


STATE OF NEW YORK )  
 )  
COUNTY OF NEW YORK )

ss.:

On the 19<sup>th</sup> day of DECEMBER, 20 14 before me, the undersigned, personally appeared Emily Keyes, personally known to me or proved to me the basis of satisfactory evidence to the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

FRANCIS A. DECOTEAU  
Commissioner of Deeds  
City of New York No. 2-12739  
Certificate Filed in New York County  
Commission Expires July 1, 2015

  
Notary Public

**SEAL**

**CERTIFICATION OF PARTIES IN INTEREST  
PURSUANT TO SUBDIVISION (D) OF THE DEFINITION OF  
ZONING LOT SET FORTH IN SECTION 12-10 OF  
THE ZONING RESOLUTION OF DECEMBER 15, 1961  
OF THE CITY OF NEW YORK, AS AMENDED  
EFFECTIVE AUGUST 18, 1977**

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**THE NEW YORK CITY LAW DEPARTMENT** hereby certifies that as to the land hereinafter described, being a tract of land, either unsubdivided or consisting of two or more lots of record, contiguous for a minimum of ten linear feet, located within a single block, that all the parties in interest consisting of a party as defined in Section 12-10, subdivision (d) of the Zoning Resolution of the City of New York, effective December 15, 1961, as amended, are the following:

**NAME AND ADDRESS**

**NATURE OF INTEREST**

1. The City of New York

Fee Owner of part of Tax Lot 40, Block 346

The subject tract of land with respect to which the foregoing parties are the parties in interest as aforesaid, is known as part of Tax Lot 40 in Block 346 as shown on the Tax Map of the City of New York, New York County and more particularly described as follows:

**Site 3**

A PARCEL OF LAND LYING IN MANHATTAN, NEW YORK, IN TAX BLOCK NO. 346, ENCLOSED BY FOUR STREETS: AT NORTH BY DELANCEY STREET; AT EAST BY SUFFOLK STREET; AT SOUTH BY BROOME STREET; AND AT WEST BY NORFOLK STREET. MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT SAID POINT BEING FORMED BY THE INTERSECTION OF THE SOUTHEASTERLY LINE OF DELANCEY STREET (VARIABLE WIDTH) WITH THE NORTHEASTERLY LINE OF NORFOLK STREET (VARIABLE WIDTH) AND FROM SAID BEGINNING POINT RUNNING, THENCE;

1. RUNNING NORTHEASTERLY, ALONG SAID SOUTHEASTERLY LINE OF DELANCEY STREET, A DISTANCE OF 200.66 FEET TO A POINT, THENCE;
2. RUNNING SOUTHEASTERLY, ALONG THE SOUTHWESTERLY LINE OF SUFFOLK STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 23 MINUTES – 35 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 202.78 FEET TO A POINT, THENCE;
3. RUNNING SOUTHWESTERLY, ALONG THE NORTHWESTERLY LINE OF BROOME STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 89 DEGREES – 39 MINUTES – 24 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 200.85 FEET TO A POINT, THENCE;
4. RUNNING NORTHWESTERLY, ALONG THE AFOREMENTIONED NORTHEASTERLY LINE OF NORFOLK STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 17 MINUTES – 22 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 202.95 FEET TO THE POINT AND PLACE OF BEGINNING.

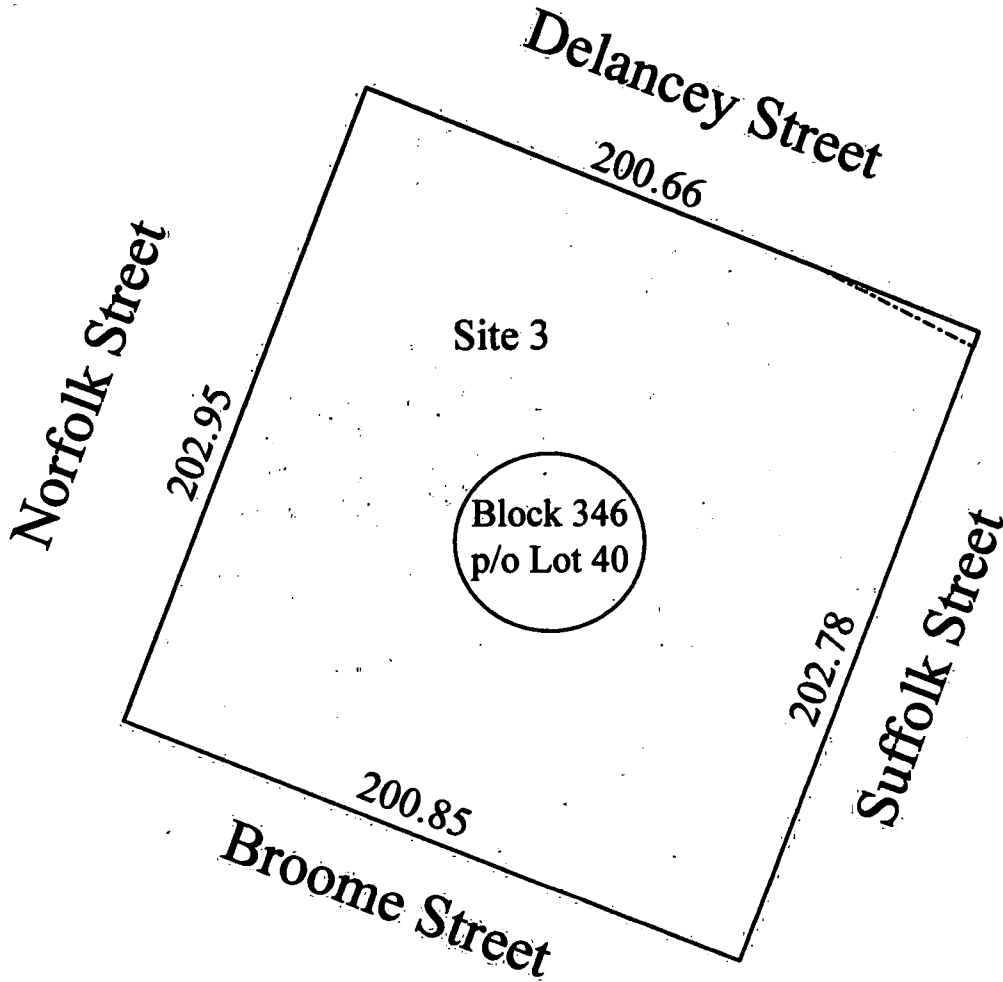
CONTAINING 40,726 SQUARE FEET OR 0.935 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO A MAP ENTITLED "ALTERATION MAP NO. 30236 SHOWING THE ESTABLISHMENT OF BROOME STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF SUFFOLK STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF CLINTON STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF DELANCEY STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF THE NAME DELANCEY STREET FOR THE UNNAMED STREET BETWEEN CLINTON STREET AND FRANKLIN D. ROOSEVELT DRIVE AND THE ADJUSTMENT OF GRADES NECESSITATED THEREBY" PREPARED BY CITY OF NEW YORK, BOROUGH OF MANHATTAN, OFFICE OF THE PRESIDENT, TOPOGRAPHICAL BUREAU.

That the said premises are known as and by street addresses 135-147 DELANCEY STREET, NEW YORK, NEW YORK, as shown on the following diagram:

Site 3

Block 346, p/o Lot 40 (135-147 Delancey St.)



0 5 10 20 30 40 Feet

**NOTE:** A Zoning Lot may or may not coincide with a lot as shown on the Official Tax Map of the City of New York, or on any recorded subdivision plot or deed. A Zoning Lot may be subdivided into two or more zoning lots provide all the resulting zoning lots and all the buildings thereon shall comply with the applicable provisions of the zoning lot resolution.

Dated: December 19, 2014

THE NEW YORK CITY LAW DEPARTMENT

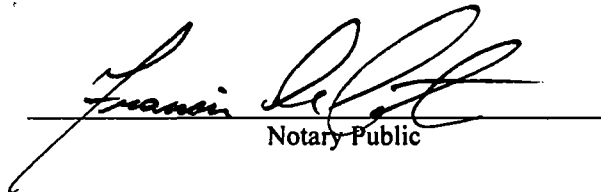
By: Emily Keyes  
Name: Emily Keyes  
Title: Senior Closing and Title Counsel

STATE OF NEW YORK )  
 )  
COUNTY OF NEW YORK )

ss.:

On the 19<sup>th</sup> day of DECEMBER, 2014 before me, the undersigned, personally appeared Emily Keyes, personally known to me or proved to me the basis of satisfactory evidence to the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

FRANCIS A. DECOTEAU  
Commissioner of Deeds  
City of New York No. 2-12739  
Certificate Filed in New York County  
Commission Expires July 1, 2015

  
Notary Public

**SEAL**

**CERTIFICATION OF PARTIES IN INTEREST  
PURSUANT TO SUBDIVISION (D) OF THE DEFINITION OF  
ZONING LOT SET FORTH IN SECTION 12-10 OF  
THE ZONING RESOLUTION OF DECEMBER 15, 1961  
OF THE CITY OF NEW YORK, AS AMENDED  
EFFECTIVE AUGUST 18, 1977**

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**THE NEW YORK CITY LAW DEPARTMENT** hereby certifies that as to the land hereinafter described, being a tract of land, either unsubdivided or consisting of two or more lots of record, contiguous for a minimum of ten linear feet, located within a single block, that all the parties in interest consisting of a party as defined in Section 12-10, subdivision (d) of the Zoning Resolution of the City of New York, effective December 15, 1961, as amended, are the following:

**NAME AND ADDRESS**

**NATURE OF INTEREST**

1. The City of New York

Fee Owner of part of Tax Lot 40, Block 346

The subject tract of land with respect to which the foregoing parties are the parties in interest as aforesaid, is known as part of Tax Lot 40 in Block 346 as shown on the Tax Map of the City of New York, New York County and more particularly described as follows:

**Site 4**

A PARCEL OF LAND LYING IN MANHATTAN, NEW YORK, IN TAX BLOCK NO. 346, ENCLOSED BY FOUR STREETS: AT NORTH BY DELANCEY STREET; AT EAST BY CLINTON STREET; AT SOUTH BY BROOME STREET; AND AT WEST BY SUFFOLK STREET. MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT SAID POINT BEING FORMED BY THE INTERSECTION OF THE SOUTHEASTERLY LINE OF DELANCEY STREET (VARIABLE WIDTH) WITH THE SOUTHWESTERLY LINE OF CLINTON STREET (50 FEET WIDE) AND FROM SAID BEGINNING POINT RUNNING, THENCE;

1. RUNNING SOUTHEASTERLY, ALONG SAID SOUTHWESTERLY LINE OF CLINTON STREET, A DISTANCE OF 201.91 FEET TO A POINT, THENCE;
2. RUNNING SOUTHWESTERLY, ALONG THE NORTHWESTERLY LINE OF BROOME STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 89 DEGREES – 50 MINUTES – 58 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 200.88 FEET TO A POINT, THENCE;
3. RUNNING NORTHWESTERLY, ALONG THE NORTHEASTERLY LINE OF SUFFOLK STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 10 MINUTES – 22 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 202.50 FEET TO A POINT, THENCE;
4. RUNNING NORTHEASTERLY, ALONG THE AFOREMENTIONED SOUTHEASTERLY LINE OF DELANCEY STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 89 DEGREES – 39 MINUTES – 28 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 200.96 FEET TO THE POINT AND PLACE OF BEGINNING:

CONTAINING 40,627 SQUARE FEET OR 0.933 ACRES

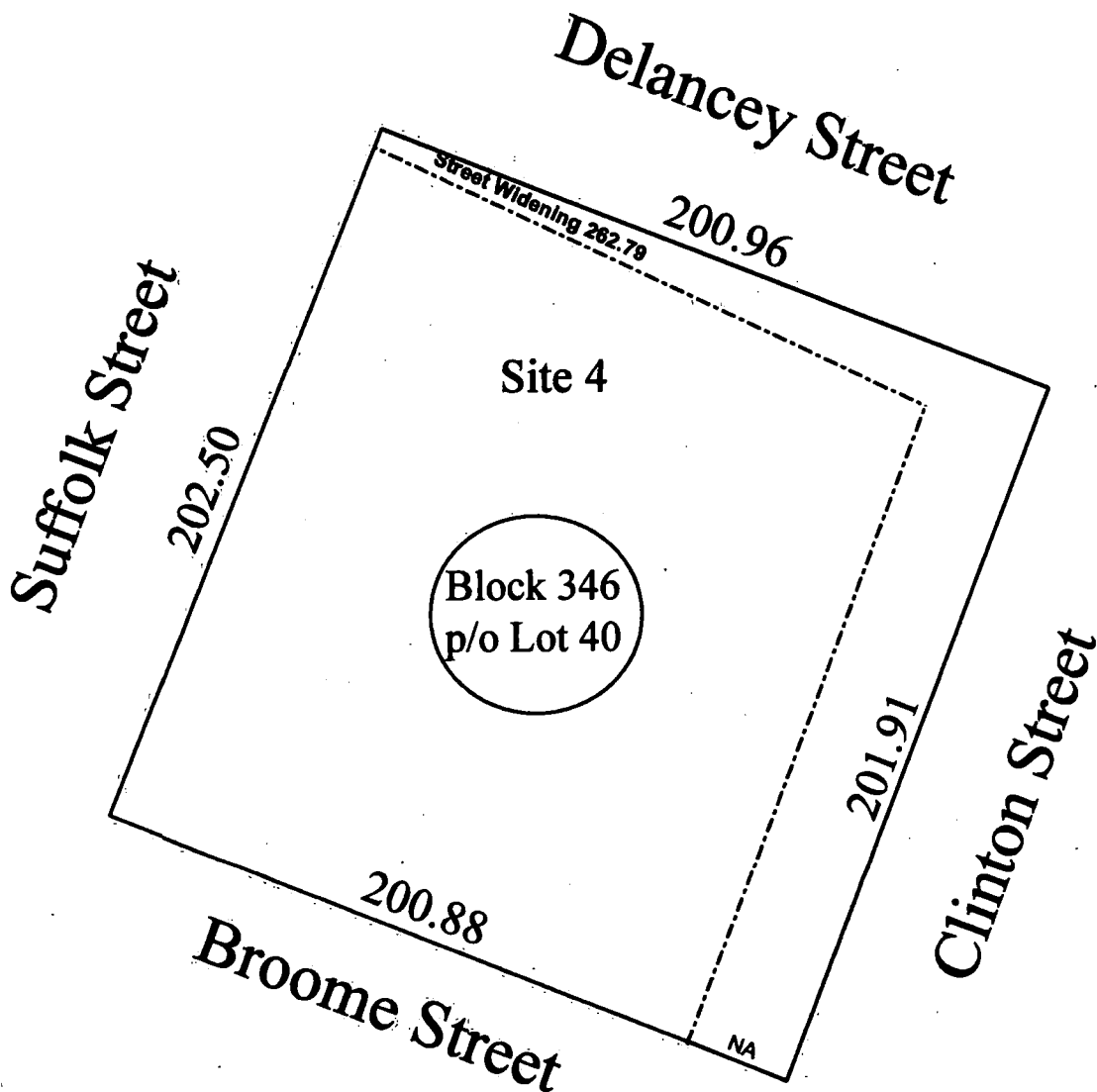
THIS DESCRIPTION IS PREPARED WITH REFERENCE TO A MAP ENTITLED "ALTERATION MAP NO. 30236 SHOWING THE ESTABLISHMENT OF BROOME STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF SUFFOLK STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF CLINTON STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF DELANCEY STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF THE NAME DELANCEY STREET FOR THE UNNAMED STREET BETWEEN CLINTON STREET AND FRANKLIN D. ROOSEVELT DRIVE AND THE ADJUSTMENT OF GRADES NECESSITATED THEREBY" PREPARED BY CITY OF NEW YORK, BOROUGH OF MANHATTAN, OFFICE OF THE PRESIDENT, TOPOGRAPHICAL BUREAU.



That the said premises are known as and by street addresses 153-63 DELANCEY STREET, NEW YORK, NEW YORK, as shown on the following diagram:

Site 4

Block 346, p/o Lot 40 (153-163 Delancey St.)



0 510 20 30 40 Feet

**NOTE:** A Zoning Lot may or may not coincide with a lot as shown on the Official Tax Map of the City of New York, or on any recorded subdivision plot or deed. A Zoning Lot may be subdivided into two or more zoning lots provide all the resulting zoning lots and all the buildings thereon shall comply with the applicable provisions of the zoning lot resolution.

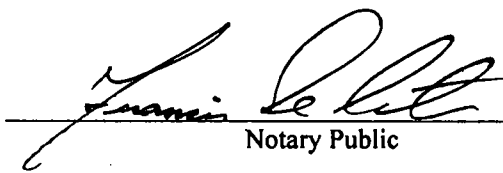
Dated: December 19, 2014

THE NEW YORK CITY LAW DEPARTMENT

By: Emily Keyes  
Name: Emily Keyes  
Title: Senior Closing and Title Counsel

STATE OF NEW YORK            )  
  )  
COUNTY OF NEW YORK        )        ss.:

On the 19<sup>th</sup> day of DECEMBER, 2014 before me, the undersigned, personally appeared Emily Keyes, personally known to me or proved to me the basis of satisfactory evidence to the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
\_\_\_\_\_  
Notary Public

**FRANCIS A. DECOTEAU**  
Commissioner of Deeds  
City of New York No. 2-12739  
Certificate Filed in New York County  
Commission Expires July 1, 2015

**SEAL**

**CERTIFICATION OF PARTIES IN INTEREST  
PURSUANT TO SUBDIVISION (D) OF THE DEFINITION OF  
ZONING LOT SET FORTH IN SECTION 12-10 OF  
THE ZONING RESOLUTION OF DECEMBER 15, 1961  
OF THE CITY OF NEW YORK, AS AMENDED  
EFFECTIVE AUGUST 18, 1977**

---

**THE NEW YORK CITY LAW DEPARTMENT** hereby certifies that as to the land hereinafter described, being a tract of land, either unsubdivided or consisting of two or more lots of record, contiguous for a minimum of ten linear feet, located within a single block, that all the parties in interest consisting of a party as defined in Section 12-10, subdivision (d) of the Zoning Resolution of the City of New York, effective December 15, 1961, as amended, are the following:

**NAME AND ADDRESS**

**NATURE OF INTEREST**

1. The City of New York

Fee Owner of part of Tax Lot 40, Block 346

The subject tract of land with respect to which the foregoing parties are the parties in interest as aforesaid, is known as part of Tax Lot 40 in Block 346 as shown on the Tax Map of the City of New York, New York County and more particularly described as follows:

**Site 5**

A PARCEL OF LAND LYING IN MANHATTAN, NEW YORK, IN TAX BLOCK NO. 346, ENCLOSED BY FOUR STREETS: AT NORTH BY BROOME STREET; AT EAST BY CLINTON STREET; AT SOUTH BY GRAND STREET; AND AT WEST BY SUFFOLK STREET. MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT SAID POINT BEING FORMED BY THE INTERSECTION OF THE NORTHEASTERLY LINE OF GRAND STREET (100 FEET WIDE) WITH THE NORTHWESTERLY LINE OF CLINTON STREET (50 FEET WIDE) AND FROM SAID BEGINNING POINT RUNNING, THENCE;

1. RUNNING NORTHWESTERLY, ALONG SAID NORTHEASTERLY LINE OF GRAND STREET, A DISTANCE OF 200.68 FEET TO A POINT, THENCE;
2. RUNNING NORTHEASTERLY, ALONG THE SOUTHEASTERLY LINE OF SUFFOLK STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 90 DEGREES – 16 MINUTES – 10 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 301.58 FEET TO A POINT, THENCE;
3. RUNNING SOUTHEASTERLY, ALONG THE SOUTHEASTERLY LINE OF BROOME STREET (VARIABLE WIDTH) FORMING AN INTERIOR ANGLE OF 89 DEGREES 48' 45" WITH THE PREVIOUS COURSE A DISTANCE OF 200.80 FEET TO A POINT, THENCE;
4. RUNNING SOUTHEASTERLY, ALONG THE AFOREMENTIONED NORTHWESTERLY LINE OF CLINTON STREET FORMING AN INTERIOR ANGLE OF 90 DEGREES – 09 MINUTES – 49 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 301.87 FEET TO THE POINT AND PLACE OF BEGINNING.

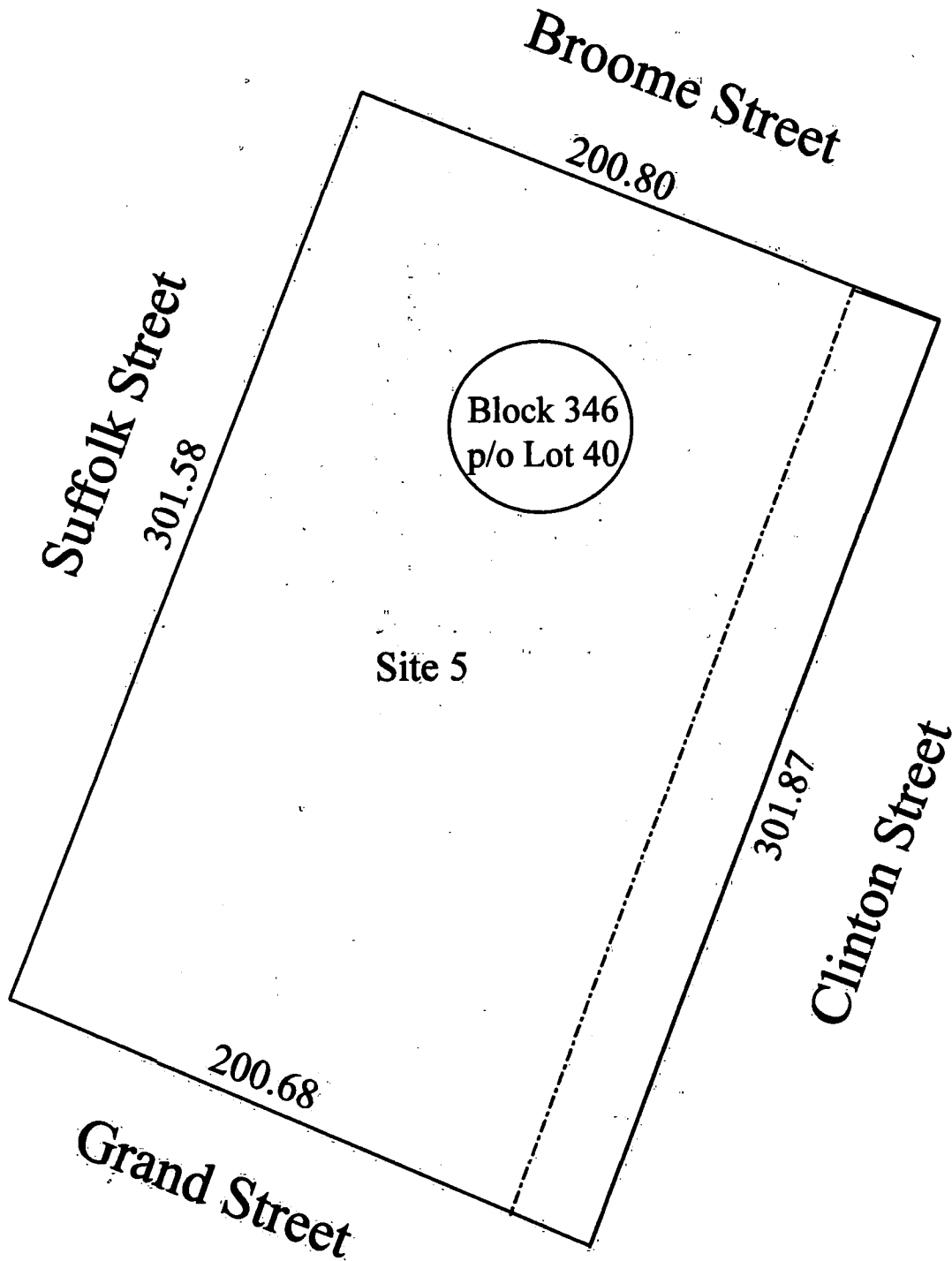
CONTAINING 60,568 SQUARE FEET OR 1.390 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO A MAP ENTITLED "ALTERATION MAP NO. 30236 SHOWING THE ESTABLISHMENT OF BROOME STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF SUFFOLK STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF CLINTON STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF DELANCEY STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF THE NAME DELANCEY STREET FOR THE UNNAMED STREET BETWEEN CLINTON STREET AND FRANKLIN D. ROOSEVELT DRIVE AND THE ADJUSTMENT OF GRADES NECESSITATED THEREBY" PREPARED BY CITY OF NEW YORK, BOROUGH OF MANHATTAN, OFFICE OF THE PRESIDENT, TOPOGRAPHICAL BUREAU.

That the said premises are known as and by street addresses 394-406 GRAND STREET, NEW YORK, NEW YORK, as shown on the following diagram:

Sites 5

Block 346, p/o Lot 40 (394-406 Grand St.)



0 510 20 30 40 Feet

**NOTE:** A Zoning Lot may or may not coincide with a lot as shown on the Official Tax Map of the City of New York, or on any recorded subdivision plot or deed. A Zoning Lot may be subdivided into two or more zoning lots provide all the resulting zoning lots and all the buildings thereon shall comply with the applicable provisions of the zoning lot resolution.

Dated: December 19 20 14

THE NEW YORK CITY LAW DEPARTMENT

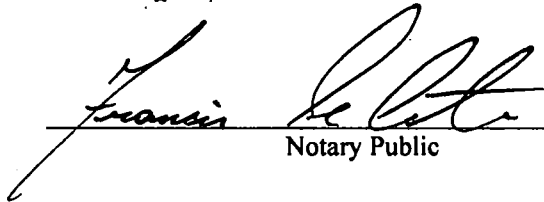
By: Emily Keyes  
Name: Emily Keyes  
Title: Senior Closing and Title Counsel

STATE OF NEW YORK )  
 )  
COUNTY OF NEW YORK )

ss.:

On the 19<sup>th</sup> day of DECEMBER 2014 before me, the undersigned, personally appeared Emily Keyes, personally known to me or proved to me the basis of satisfactory evidence to the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

FRANCIS A. DECOTEAU  
Commissioner of Deeds  
City of New York No. 2-12739  
Certificate Filed in New York County  
Commission Expires July 1, 2015

  
\_\_\_\_\_  
Notary Public

**SEAL**



**CERTIFICATION OF PARTIES IN INTEREST  
PURSUANT TO SUBDIVISION (D) OF THE DEFINITION OF  
ZONING LOT SET FORTH IN SECTION 12-10 OF  
THE ZONING RESOLUTION OF DECEMBER 15, 1961  
OF THE CITY OF NEW YORK, AS AMENDED  
EFFECTIVE AUGUST 18, 1977**

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**THE NEW YORK CITY LAW DEPARTMENT** hereby certifies that as to the land hereinafter described, being a tract of land, either unsubdivided or consisting of two or more lots of record, contiguous for a minimum of ten linear feet, located within a single block, that all the parties in interest consisting of a party as defined in Section 12-10, subdivision (d) of the Zoning Resolution of the City of New York, effective December 15, 1961, as amended, are the following:

**NAME AND ADDRESS**

**NATURE OF INTEREST**

1. The City of New York

Fee Owner of Tax Lot 71, Block 347

The subject tract of land with respect to which the foregoing parties are the parties in interest as aforesaid, is known as Tax Lot 71 in Block 347 as shown on the Tax Map of the City of New York, New York County and more particularly described as follows:

**Site 6**

A PARCEL OF LAND LYING IN MANHATTAN, NEW YORK, IN TAX BLOCK NO. 347, ENCLOSED BY THREE STREETS AND LOT 80: AT NORTH BY DELANCEY STREET; AT EAST BY LOT 80; AT SOUTH BY BROOME STREET; AND AT WEST BY CLINTON STREET. MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE POINT AT THE INTERSECTION OF THE NORTHWESTERLY LINE OF BROOME STREET (VARIABLE WIDTH) AND THE NORTHEASTERLY LINE OF CLINTON STREET (VARIABLE WIDTH) AND FROM SAID POINT OF BEGINNING, RUNNING THENCE;

1. RUNNING NORTHWESTERLY, ALONG SAID NORTHEASTERLY LINE OF CLINTON STREET, A DISTANCE OF 146.24 FEET TO A POINT, THENCE;
2. RUNNING NORTHEASTERLY, ALONG THE SOUTHEASTERLY LINE OF DELANCEY STREET, FORMING AN INTERIOR ANGLE OF 89 DEGREES – 46 MINUTES – 04 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 146.00 FEET TO A POINT, THENCE;
3. RUNNING SOUTHEASTERLY, ALONG THE DIVIDING LINE BETWEEN LOT 71 AND LOT 80, BLOCK 374 FORMING AN INTERIOR ANGLE OF 90 DEGREES – 13 MINUTES – 55 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 146.14 FEET TO A POINT, THENCE;
4. RUNNING SOUTHWESTERLY, ALONG THE AFOREMENTIONED NORTHWESTERLY LINE OF BROOME STREET FORMING AN INTERIOR ANGLE OF 89 DEGREES – 48 MINUTES – 35 SECONDS WITH THE PREVIOUS COURSE, A DISTANCE OF 146.00 FEET TO THE POINT AND PLACE OF BEGINNING.

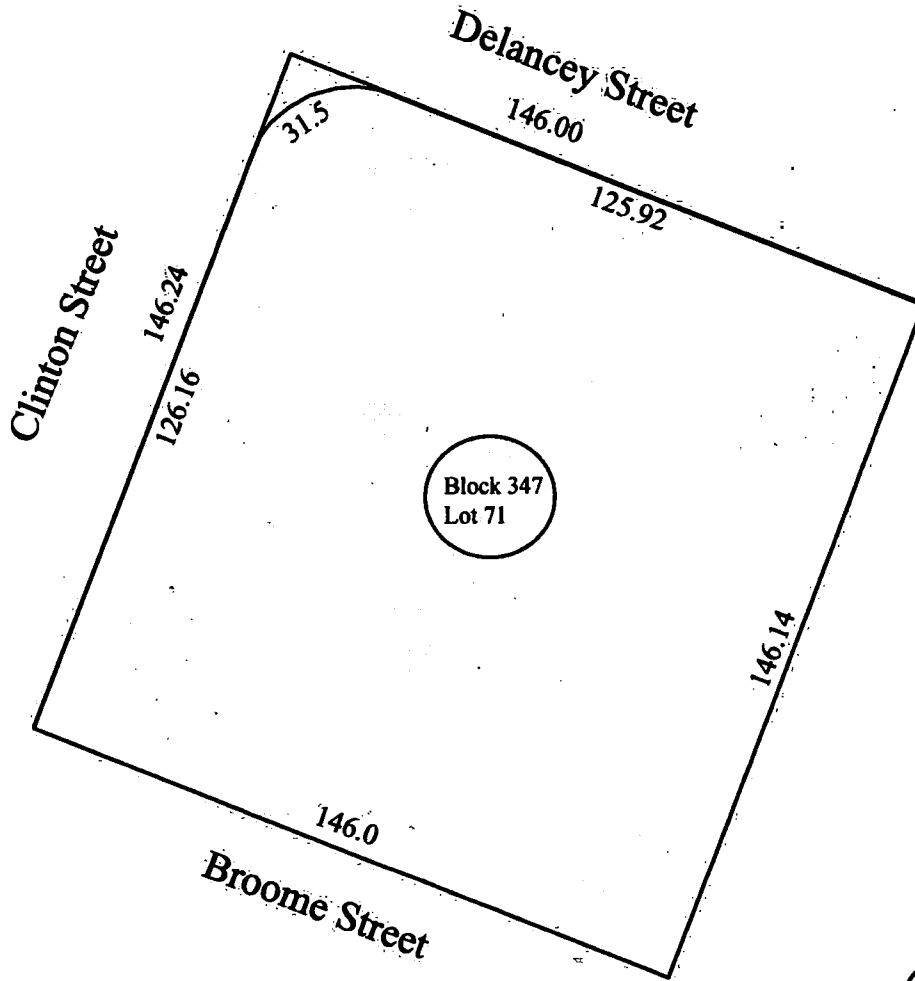
CONTAINING 21,344 SQUARE FEET OR 0.490 ACRES

THIS DESCRIPTION IS PREPARED WITH REFERENCE TO A MAP ENTITLED "ALTERATION MAP NO. 30236 SHOWING THE ESTABLISHMENT OF BROOME STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF SUFFOLK STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF CLINTON STREET BETWEEN GRAND STREET AND DELANCEY STREET, THE NARROWING, BY ELIMINATION, DISCONTINUANCE AND CLOSING OF DELANCEY STREET BETWEEN NORFOLK STREET AND CLINTON STREET, THE ESTABLISHMENT OF THE NAME DELANCEY STREET FOR THE UNNAMED STREET BETWEEN CLINTON STREET AND FRANKLIN D. ROOSEVELT DRIVE AND THE ADJUSTMENT OF GRADES NECESSITATED THEREBY" PREPARED BY CITY OF NEW YORK, BOROUGH OF MANHATTAN, OFFICE OF THE PRESIDENT, TOPOGRAPHICAL BUREAU.

That the said premises are known as and by street address 178 BROOME STREET, NEW YORK, NEW YORK as shown on the following diagram:

Site 6

Block 347, Lot 71 (178 Broome Street)



0.56912 Feet

**NOTE:** A Zoning Lot may or may not coincide with a lot as shown on the Official Tax Map of the City of New York, or on any recorded subdivision plot or deed. A Zoning Lot may be subdivided into two or more zoning lots provide all the resulting zoning lots and all the buildings thereon shall comply with the applicable provisions of the zoning lot resolution.

Dated: December 19, 20 14

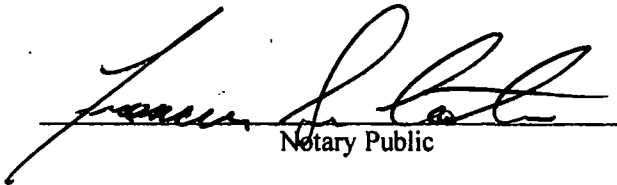
THE NEW YORK CITY LAW DEPARTMENT

By: Emily Keyes  
Name: Emily Keyes  
Title: Senior Closing and Title Counsel

STATE OF NEW YORK )  
 )  
COUNTY OF NEW YORK )

ss.:

On the 19<sup>th</sup> day of DECEMBER, 2014 before me, the undersigned, personally appeared Emily Keyes, personally known to me or proved to me the basis of satisfactory evidence to the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
Notary Public

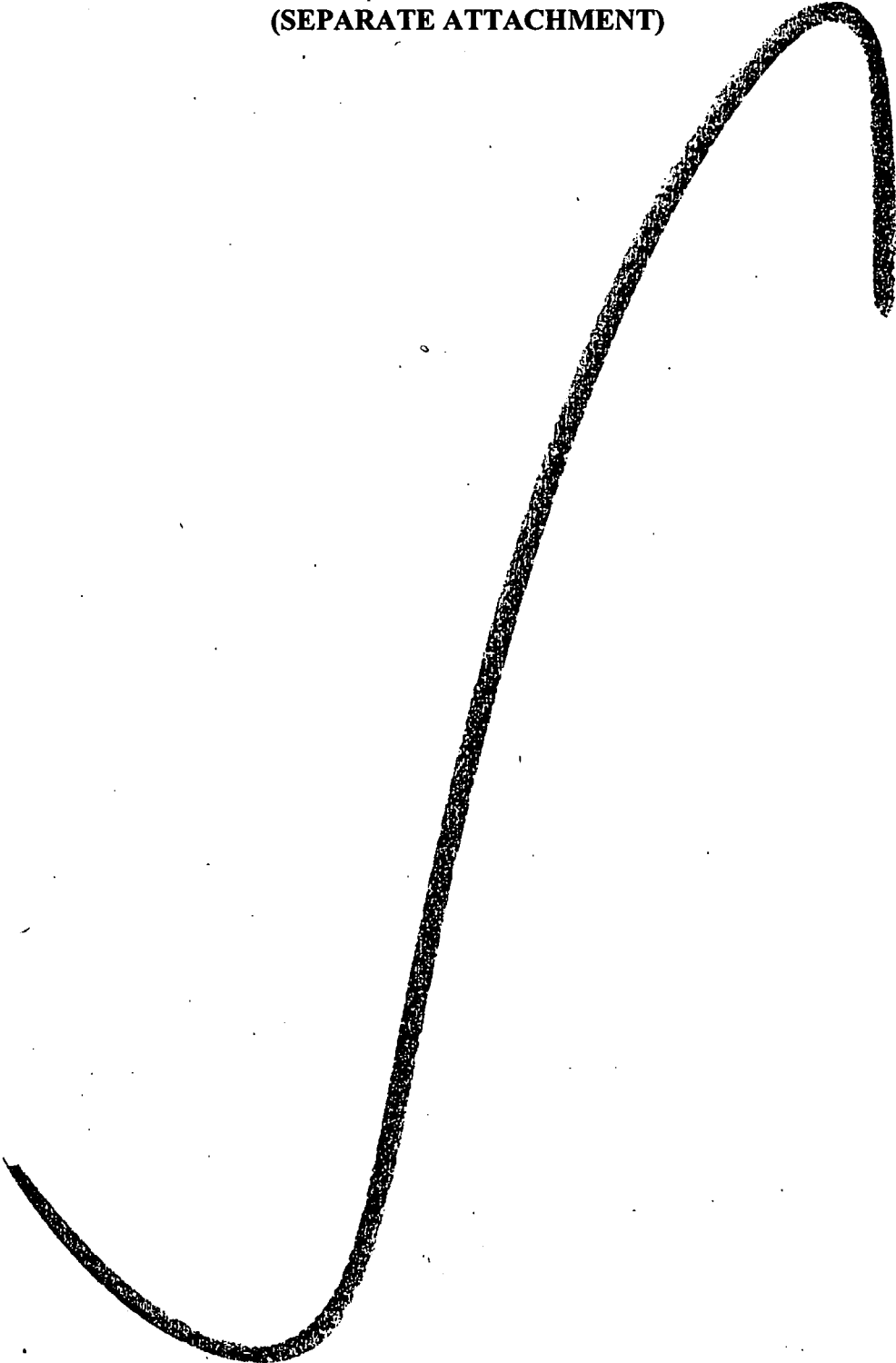
FRANCIS A. DECOTEAU  
Commissioner of Deeds  
City of New York No. 2-12739  
Certificate Filed in New York County  
Commission Expires July 1, 2015

**SEAL**

**EXHIBIT C**

**PLANS**

**(SEPARATE ATTACHMENT)**











# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
41 East 14 Street  
New York, NY 10003  
Tel: 212.693.2000  
Fax: 212.693.2000

New York City Department of City Planning  
125 West Street  
New York, NY 10038  
Tel: 212.312.3200  
Fax: 212.312.3200  
Legal Counsel:  
125 West Street  
New York, NY 10038  
Tel: 212.312.3200  
Fax: 212.312.3200



DATE: 03/21/17  
BY: Kelly Wittrock  
FOR: Beyer Blinder Belle  
PROJECT: Seward Park  
SHEET: 004 OF 004

ZONING CALCULATIONS  
(4 of 4)

DATE: 21 MARCH 2017  
PROJECT NO: 21023.001  
SHEET NO: 004 OF 004

004

Zoning Calculations continued from Sheet 003

X. YARDS		Sht. 1 (7-3111)	Sht. 2 (6-3112)	Sht. 3 (6-3113)	Sht. 4 (6-3114)	Sht. 5 (6-3115)	Sht. 6 (6-3116)	Sht. 7 (6-3117)	Sht. 8 (6-3118)	Sht. 9 (6-3119)	Sht. 10 (6-3120)
<b>14. YARDS</b>											
<b>14.1. YARDS - Quality/Amount/Other</b>											
14.1.1	Required New Yard	None	None	None	None	None	None	None	None	None	None
14.1.2	Required Old Yard	None	None	None	None	None	None	None	None	None	None
14.1.3	Required New Yard	217	None	None	None	None	None	None	None	None	None
14.1.4	Required New Yard Equivalent	4077	None	None	None	None	None	None	None	None	None
14.1.5	Proposed New Yard	None	None	None	None	None	None	None	None	None	None
14.1.6	Proposed Old Yard	None	None	None	None	None	None	None	None	None	None
14.1.7	Proposed New Yard Scale	0 FT.	None	None	None	None	None	None	None	None	None
14.1.8	Proposed New Yard Scale	0 FT.	None	None	None	None	None	None	None	None	None
<b>14.2. YARDS - High-Rise/Residential Building/Other</b>											
14.2.1	Required New Yard	None	None	None	None	None	None	None	None	None	None
14.2.2	Required Old Yard	None	None	None	None	None	None	None	None	None	None
14.2.3	Required New Yard	217	None	None	None	None	None	None	None	None	None
14.2.4	Required New Yard Equivalent	None	None	None	None	None	None	None	None	None	None
14.2.5	Proposed New Yard	None	None	None	None	None	None	None	None	None	None
14.2.6	Proposed Old Yard	None	None	None	None	None	None	None	None	None	None
14.2.7	Proposed New Yard Scale	0 FT.	None	None	None	None	None	None	None	None	None
14.2.8	Proposed New Yard Scale	None	None	None	None	None	None	None	None	None	None
<b>15. PARKING</b>											
<b>15.1. PARKING - Accessory Parking</b>											
15.1.1	Required Parking Spaces (Lot/Street)	0	0	0	0	0	0	0	0	0	0
15.1.2	Required Parking Spaces (All Other Uses)	0	0	0	0	0	0	0	0	0	0
15.1.3	Proposed Parking Spaces (Lot/Street)	0	0	0	0	0	0	0	0	0	0
15.1.4	Proposed Parking Spaces (All Other Uses)	0	0	0	0	0	0	0	0	0	0
15.1.5	Proposed Parking Spaces (Total)	0	0	0	0	0	0	0	0	0	0
<b>15.2. PARKING - Public Parking Garage</b>											
15.2.1	Required Public Parking Garage	14	14	14	14	14	14	14	14	14	14
15.2.2	Proposed Public Parking Garage	14	14	14	14	14	14	14	14	14	14
<b>16. BICYCLE PARKING</b>											
16.1	Required 1 space given for every 10 cars	14	14	14	14	14	14	14	14	14	14
16.2	Proposed Bicycle Parking Spaces	14	14	14	14	14	14	14	14	14	14
<b>17. LEASING</b>											
17.1	Required Necessary Leasing Spaces	0	0	0	0	0	0	0	0	0	0
17.2	Leasing Spaces Provided	0	0	0	0	0	0	0	0	0	0

**Footnote 1:** Required Public Parking Garage to 25% of 14-47 is 14-47 to allow 7 public parking garage.

**Footnote 2:** "New" Public Parking Spaces included in the minimum allowed for this UOZC.

# Seward Park

Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
65 Canal St. New York, NY 10013  
Tel: 212.279.3300  
Fax: 212.279.5200

New York City Department of City Planning  
330 West 42nd Street, Room 2412  
New York, NY 10018  
Tel: 212.312.1373  
Fax: 212.312.1374  
www.cityplanning.org  
Planning Board Meeting: August 4, 2011  
250 West 51st Street, 12th Floor  
New York, NY 10019  
Tel: 212.422.4000  
Fax: 212.422.4001

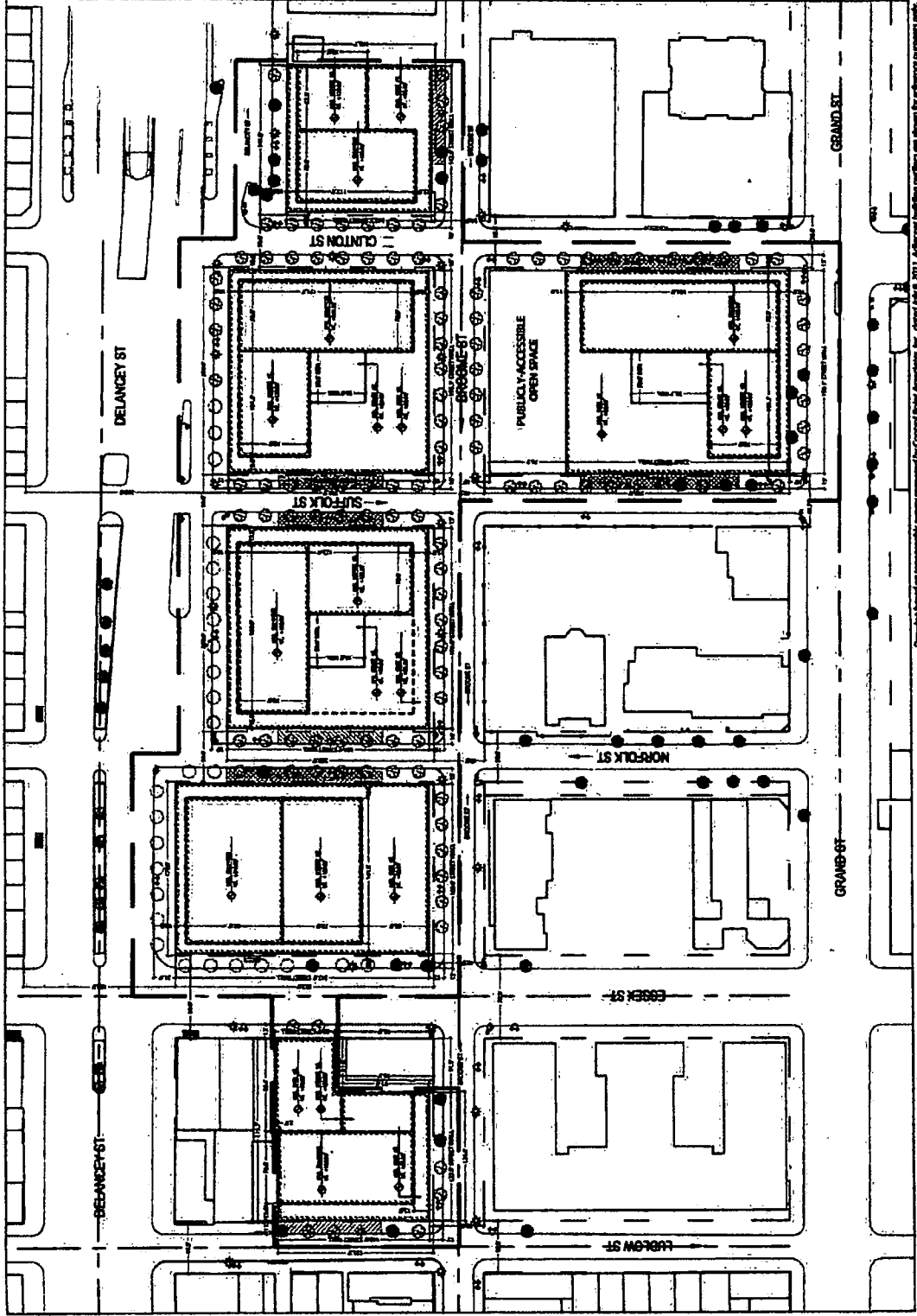
REGISTERED ARCHITECT  
MARTIN WITTEBOCK  
STATE OF NEW YORK

REGISTERED PROFESSIONAL ENGINEER  
JOHN HENRY DE VITO  
STATE OF NEW YORK

11/08/17 Site & Prospectus & Other Notes  
No. 24  
Scale  
Date

**PROPOSED SITE PLAN**  
Scale: 1" = 100'-0"  
Date: 21 MARCH 2011  
Drawing No. 2011-01

008



**LEGEND**

- Existing trees to remain on site
- Proposed trees to be planted on site
- Proposed plantings
- Proposed lawn area
- Proposed building massing (as shown in corresponding drawings)
- Proposed building envelopes (as shown in corresponding drawings)
- Proposed building elevations (as shown in corresponding drawings)
- Proposed building setbacks (as shown in corresponding drawings)
- Proposed building heights (as shown in corresponding drawings)
- Proposed building footprints (as shown in corresponding drawings)
- Proposed building setbacks (as shown in corresponding drawings)
- Proposed building heights (as shown in corresponding drawings)
- Proposed building footprints (as shown in corresponding drawings)
- Proposed building setbacks (as shown in corresponding drawings)
- Proposed building heights (as shown in corresponding drawings)
- Proposed building footprints (as shown in corresponding drawings)

Drawings based on topographic survey prepared by General Park Associates, Inc., dated July 4, 2011. Adjacent building footprints are shown for reference purposes only.

**SITE PLAN NOTES:**

1. Site Plan drawings 008, 101, 201, 301, 401, 501 and 601 show "Envelope Option 1" as established in corresponding "Building Envelope" drawings 103, 203, 3, 403, 1, 503 and 603. Actual Building massing subject to design controls (as indicated on drawings 103, 203, 1, 303, 2, 203, 3, 403, 1, 503, 3, 403, 2, 603 and 603). Envelope heights are relative to the Base Plane or the Average Curb Level elevations (as indicated).
2. Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZR 26-41.
3. The exact location of any court on Sites 3, 4, or 5 is subject to change.

# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

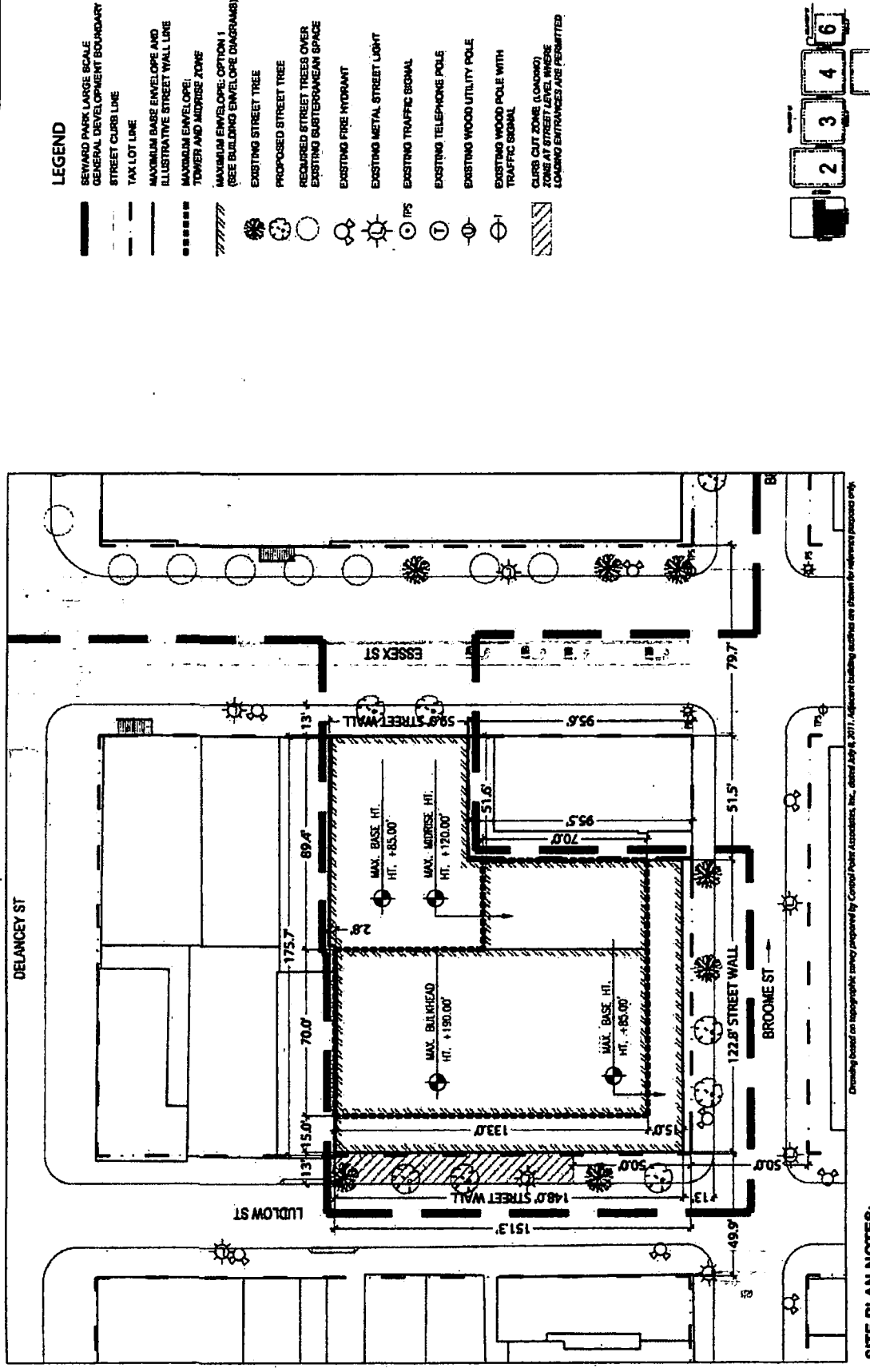
Architects & Planners LLP  
41 East 11 Street  
New York, NY 10003  
Tel: 212 971-2222

New York City  
Professional Engineer  
No. 13633  
No. 13634  
No. 13635  
No. 13636  
No. 13637  
No. 13638  
No. 13639  
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No. 13696  
No. 13697  
No. 13698  
No. 13699  
No. 13700

REGISTERED ARCHITECT  
NEW YORK STATE OFFICE OF STATE ARCHITECTURE  
100 WATER STREET, 12TH FLOOR  
NEW YORK, NY 10038  
TEL: 212 439-6400

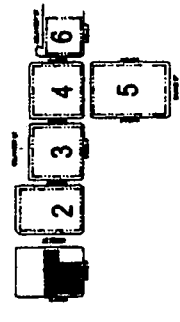


PROPOSED SITE PLAN  
ZONING LOT 1  
Scale: 1" = 40'-0"  
Date: 21 MARCH 2022  
Project No.: 220222



### LEGEND

- SEWARD PARK LARGE SCALE GENERAL DEVELOPMENT BOUNDARY
- STREET CURB LINE
- TAX LOT LINE
- MAXIMUM BASE ENVELOPE AND ILLUSTRATIVE STREET WALL LINE
- MAXIMUM ENVELOPE, TOWER AND MIDRISE ZONE
- MAXIMUM ENVELOPE, OPTION 1 (SEE BUILDING ENVELOPE DIAGRAMS)
- EXISTING STREET TREE
- PROPOSED STREET TREE
- REQUIRED STREET TREES OVER EXISTING SUBTERRANEAN SPACE
- EXISTING FIRE HYDRANT
- EXISTING METAL STREET LIGHT
- EXISTING TRAFFIC SIGNAL
- EXISTING TELEPHONE POLE
- EXISTING WOOD UTILITY POLE
- EXISTING WOOD POLE WITH TRAFFIC SIGNAL
- CURB CUT ZONE (LOADING) ZONE AT STREET LEVEL WHERE LOADING ENTRANCES ARE PERMITTED



KEY SITE PLAN

**SITE PLAN NOTES:**

- Envelope Option 1 shown as established in corresponding "Building Envelope" drawing 103. Actual building massing subject to design controls (as indicated on drawing 103).
- Envelope heights are relative to the Base Plane or the Average Curb Level elevations (as indicated).
- Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZR 28-41.

Drawing based on topographic survey prepared by Control Point Associates, Inc., dated July 9, 2011. Adjacent building envelopes are shown for reference purposes only.

**Seward Park**

**Mixed-Use Development Project**

**Beyer  
Blinder  
Belle**

Architects & Planners LLP

44 One Liberty Street  
New York, NY 10038  
Tel: 212 512 5000  
Fax: 212 512 5000

New York City Department of City Planning

111 West Broadway  
New York, NY 10038  
Tel: 212 673 3300

City of New York, Department of City Planning

111 West Broadway  
New York, NY 10038  
Tel: 212 673 3300

Light Department

111 West Broadway  
New York, NY 10038  
Tel: 212 673 3300

New York, NY 10038  
Tel: 212 673 3300



**GROUND FLOOR PLAN**  
**ZONING LOT 1**

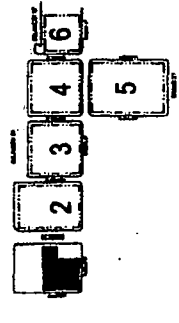
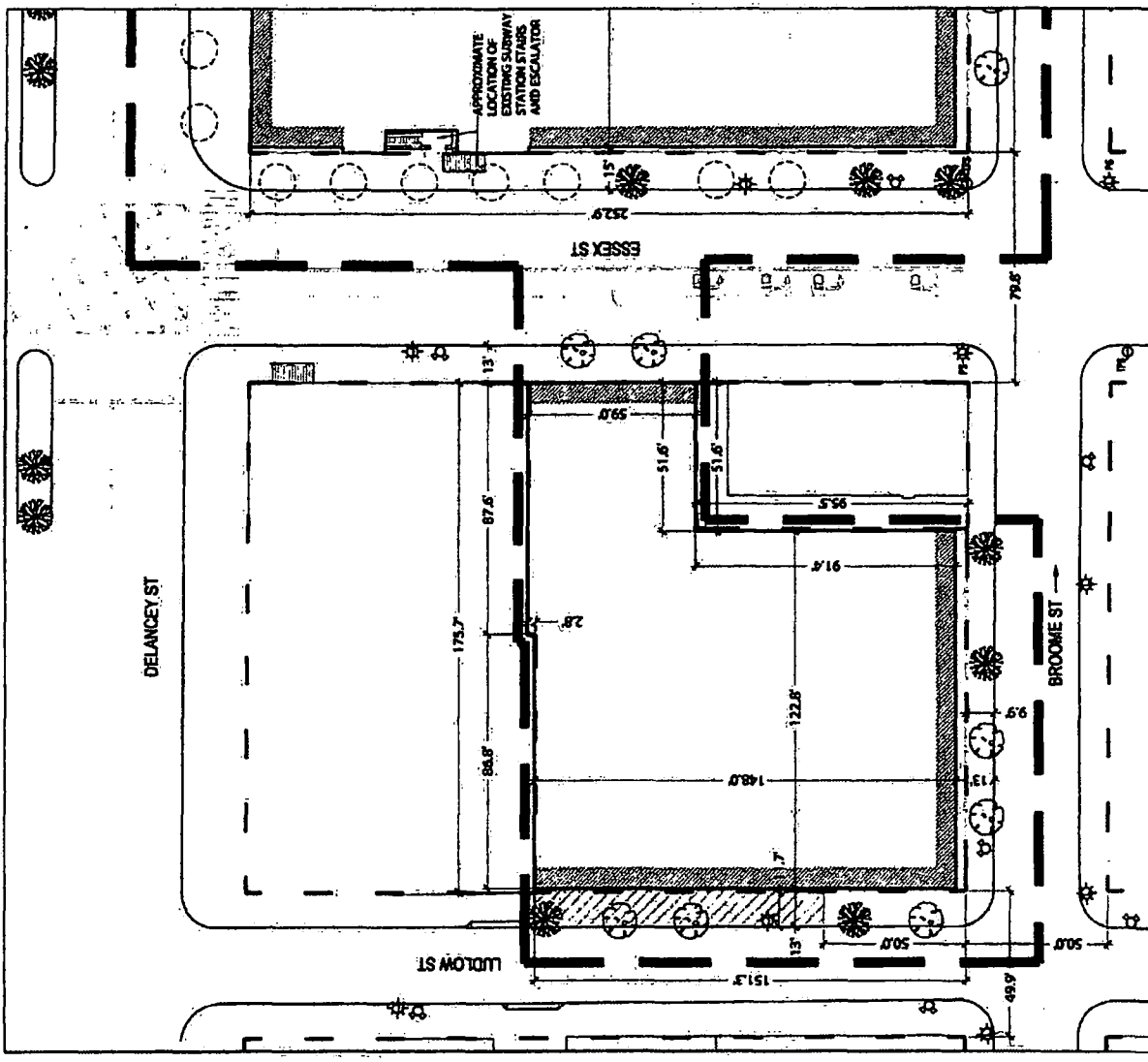
Scale: 1" = 60'  
Date: 31 MARCH 2013  
Drawing No: 21012.03

**LEGEND**

- SEWARD PARK LARGE SCALE DEVELOPMENT BOUNDARY
- STREET CURB LINE
- TAX LOT LINE
- ILLUSTRATIVE STREET WALL LINE
- EXISTING STREET TREE
- PROPOSED STREET TREE
- REQUIRED STREET TREES OVER EXISTING SUBTERRANEAN SPACE
- EXISTING FIRE HYDRANT
- EXISTING METAL STREET LIGHT
- EXISTING TRAFFIC SIGNAL
- EXISTING TELEPHONE POLE
- EXISTING WOOD UTILITY POLE
- EXISTING WOOD POLE WITH TRAFFIC SIGNAL
- PUBLICLY-ACCESSIBLE SIDEWALK WIDENING AREA
- GROUND FLOOR FRONTAGE ZONE
- CURB CUT ZONE (Limits: 5' from curb line, 10' from curb line, 15' from curb line)

**GROUND FLOOR NOTES:**

- Building facade will maintain 80% transparency at ground level at elevations ranging from 2 feet to 12 feet above curb level.
- Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZR 28-41.
- Sidewalks will be provided at a minimum width of 12'.
- Landscaping
- With regard to curb cut location(s), curb cuts for required building parcels may be sited within the zone shown on the Site Plan.



**KEY SITE PLAN**

Drawing based on topographic survey prepared by Central Point Associates, Inc., dated July 8, 2011. Adjacent building outlines are shown for reference purposes only.

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
40 West 41 Street  
New York, NY 10018  
Tel: 212-771-7600  
New York City, New York  
Tel: 212-633-3300  
New York City, Connecticut  
Tel: 212-633-3300  
New York City, Connecticut  
Tel: 212-633-3300  
New York City, Connecticut  
Tel: 212-633-3300  
New York City, Connecticut  
Tel: 212-633-3300

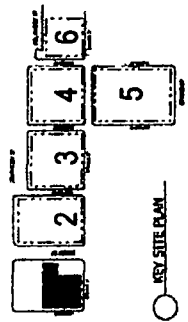
SEWARD PARK ARCHITECT  
STATE OF NEW YORK  
EXERCISE  
No. 11000  
Exp. 12/31/2007  
No. 11000  
Exp. 12/31/2007



PROJECT NO. 13-711  
PROJECT NAME: Seward Park  
DATE: 01/10/07  
DRAWN BY: [Name]  
CHECKED BY: [Name]

## BUILDING ENVELOPE DIAGRAMS

ZONING LOT 1  
AS SHOWN  
DATE: 01/10/07  
PROJECT NO. 13-711

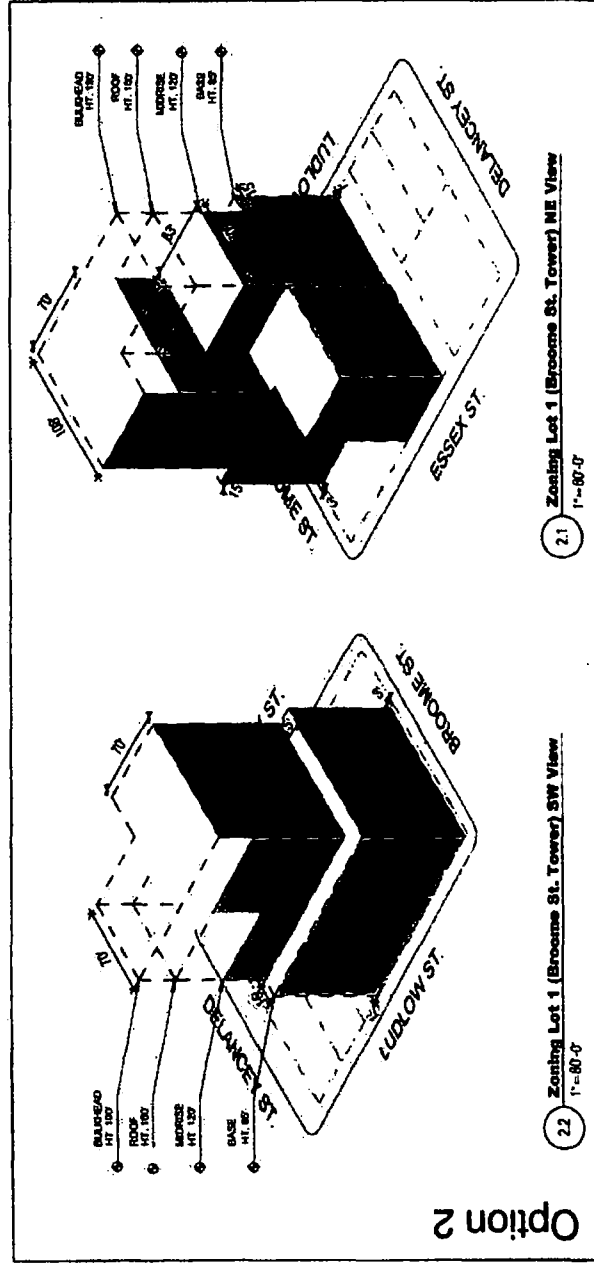
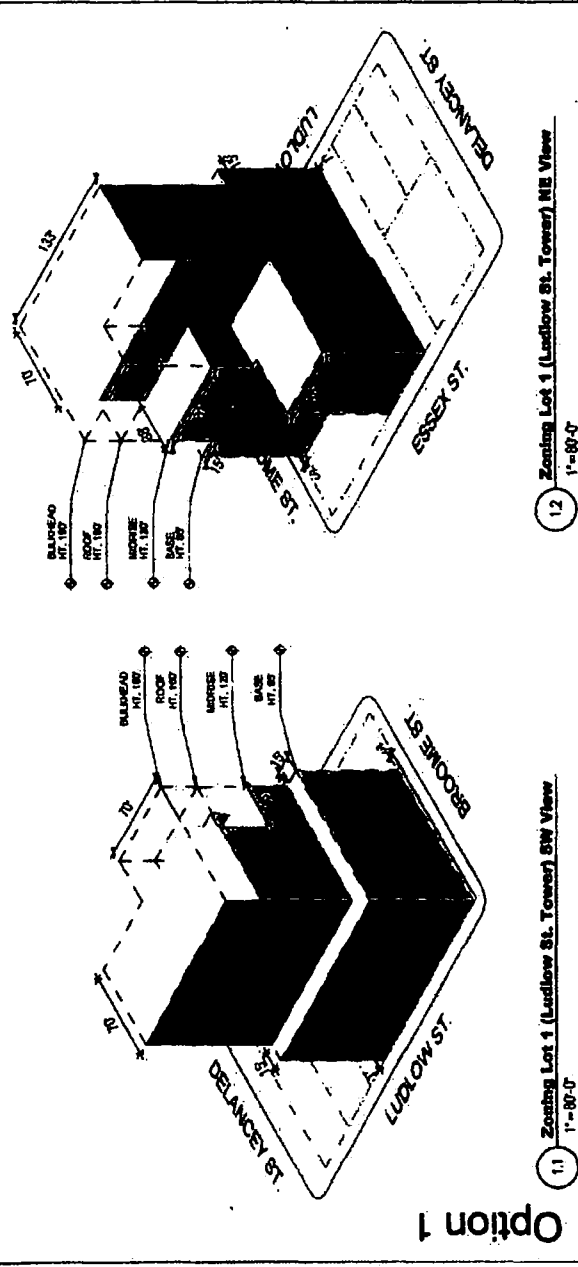
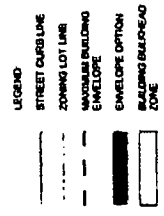


### DESIGN CONTROLS

**Roof, Height and Setback**  
Envelope heights are relative to the Base Plane (Sheet 10A1) or the Average Cub Level (Sheet 10A1) elevations (as indicated).

- The base or structural portion of Site 1 will have a minimum height of 67' and a maximum height of 95' on Broome and Ludlow Streets; the minimum base height on Essex Street may be below the minimum height of 60', but no lower than 25'. The midrise portions of all buildings developed pursuant to the approved Large-Scale General Development will have a maximum height of 120'.
- For Zoning Lot 1, Options 1 and 2, the envelope option volume indicates the maximum extent of the base and midrise portions of the building. The lower portion of the building may be located anywhere above the building base within the respective envelope options shown. The lower in Option 1 will be limited to a maximum length of 133' and a maximum width of 70'. The lower in Option 2 will be limited to a maximum length of 108' and a maximum width of 70'. Elevator or stair bulkheads (including shafts and vestibules not larger than 60 square feet in area providing access to a roof, roof water tanks and necessary mechanical equipment (including condensates), other than solar or wind energy systems, shall be permitted to exceed the maximum building (rooftop) heights approved in the L360, up to a maximum building height of 30 feet, provided that:

- such obstructions shall be located not less than 10 feet from the street wall of a building, except that such obstructions need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevator or stair bulkheads (including shafts or vestibules), provided the aggregate width of street walls of such bulkheads within 10 feet of a street wall, being each street setback, times their average height, in feet, does not exceed an area equal to four feet times the width, in feet, of the street wall of the building facing such setback;
- all mechanical equipment shall be screened on all sides that obstructs and screening are contained within a volume that complies with one of the following:
  - the product, in square feet, of the aggregate width of street walls of such obstructions facing each street setback, times their average height, shall not exceed an area equal to eight feet times the width, in feet, of the street wall of the building facing such setback; or
  - 20 percent of the total coverage of the building.



# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP

41 East 43 Street  
New York, NY 10017  
Tel: 212 775 1800

One Park 51 Building  
Park Avenue  
New York, NY 10022  
Tel: 212 512 3000

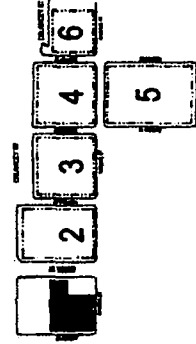
One Park 51 Development of Properties  
100 Park Avenue  
New York, NY 10022  
Tel: 212 512 3000

Local Consultant  
Project Name  
Site No. 104M  
New York, NY 10022  
Tel: 212 512 3000

**BASE PLANE CALCULATION (ER 12-10):**  
 BASE PLANE = A.C.L. ELEVATION x (LOT COVERAGE / ZONING LOT AREA) %  
 CORNER LOT 1: 34.79 x (0.298 SF / 10,000 SF) = 34.62'  
 THROUGH LOT 1: 32.79 x (4.391 SF / 10,000 SF) = 9.28'  
 INTERIOR LOT 1.1: 31.42 x ( 0 SF / 10,000 SF) = 0.00'  
 INTERIOR LOT 1.2: 31.76 x ( 0 SF / 10,000 SF) = 0.00'  
 INTERIOR LOT 1.3: 33.87 x (2,022 SF / 10,000 SF) = 4.35'  
**SITE 1 BASE PLANE: 34.04'**

### LEGEND

- STREET CURB LINE
- - - ZONING LOT LINE
- - - ZONING LOT DIVISION LINES



KEY SITE PLAN

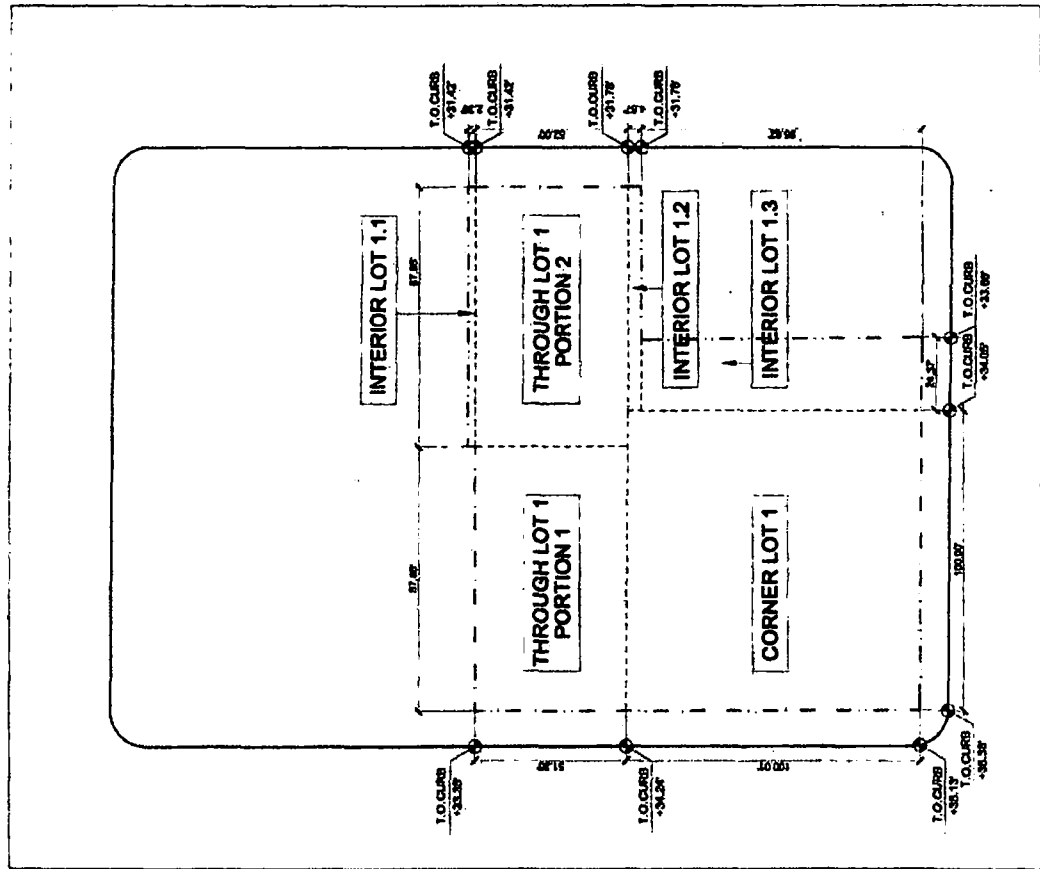
BASE PLANE DIAGRAM  
ZONING LOT 1

1" = 40'-0"  
22 MARCH 2012  
S.E. 104M

**104M**



DATE: 03/22/12  
BY: [Signature]  
FOR: [Signature]  
PROJECT: [Signature]



Drawings based on topographic survey prepared by Conrad Power Associates, Inc., dated July 8, 2011. All dimensions to be verified in the field.

**Seward Park  
Mixed-Use  
Development  
Project**

**Beyer  
Blinder  
Belie**

Architects & Planners LLP

45 West 42 Street  
New York, NY 10018  
212 317 7800

New York City Department of Planning  
150 West Street  
New York, NY 10038  
212 312 3200

New York City Department of Buildings  
150 West Street  
New York, NY 10038  
212 312 3200

NY State Department of Environmental Conservation  
625 Route 9W  
Catskill, NY 12035  
518 535 2222

**AVERAGE CURB LEVEL (2015-10):**

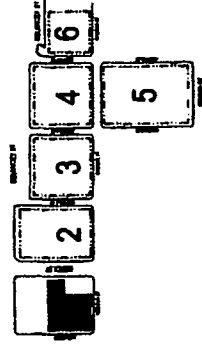
ACL EL. = (T.O.CURB 1 + T.O.CURB 2) / 2

**SITE 1 A.C.L. CALCULATIONS:**

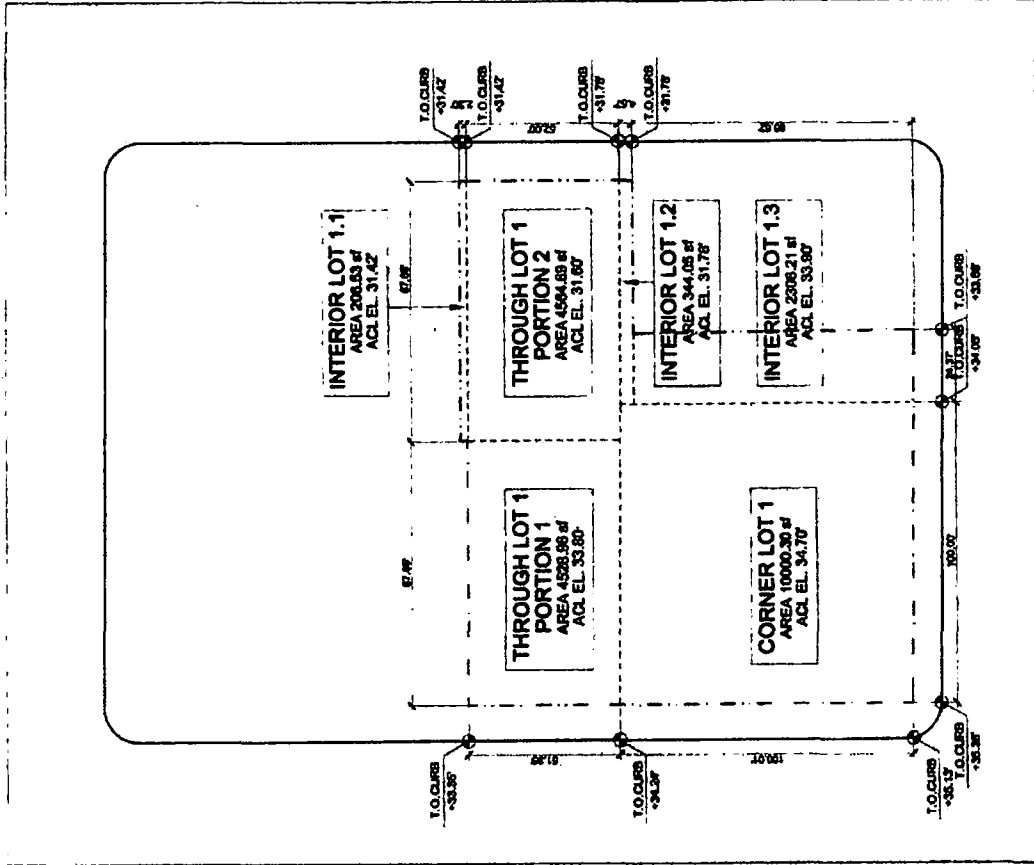
CORNER LOT 1:  $(34.56 + 33.97) / 2 = 34.27$   
 THROUGH LOT 1:  $(34.56 + 34.27) / 2 = 34.42$   
 THROUGH LOT 1.2:  $(31.42 + 31.78) / 2 = 31.60$   
 INTERIOR LOT 1.1:  $(31.42 + 31.42) / 2 = 31.42$   
 INTERIOR LOT 1.2:  $(31.78 + 31.78) / 2 = 31.78$   
 INTERIOR LOT 1.3:  $(34.06 + 33.97) / 2 = 34.02$

**LEGEND**

- STREET CURB LINE
- - - ZONING LOT LINE
- - - ZONING LOT DIVISION LINES



KEY SITE PLAN



Drawing based on topographic survey prepared by General Pines Associates, Inc. dated July 8, 2011. All dimensions to be verified in the field.



DATE: 08/17/17  
 BY: [Signature]  
 TITLE: ARCHITECT  
 PROJECT: SEWARD PARK

**AVERAGE CURB LEVEL  
ZONING LOT 1**

Area	1000.30 sf
Perimeter	211.00 ft
Average	34.70

**104N**



# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP

45 East 41 Street  
New York, NY 10017  
Tel: 212.771.7200

Project No. 105M  
Date: 08/08/2011  
2011.08.08

Site No. 105M  
Date: 08/08/2011  
2011.08.08

Site No. 105M  
Date: 08/08/2011  
2011.08.08

Site No. 105M  
Date: 08/08/2011  
2011.08.08

Site No. 105M  
Date: 08/08/2011  
2011.08.08

## ZONING REQUIREMENTS:

MIN. BASE HEIGHT (ZRS-24):  
REQUIRED: 40 FT.  
PROPOSED: 60 FT. ALONG LUDLOW ST. AND  
BROOME ST.  
28 FT. ALONG ESSEX ST.

MAX. BASE HEIGHT (ZRS-24):  
PERMITTED: 60 FT. ABOVE BASE PLANE  
PROPOSED: 65 FT. ABOVE BASE PLANE

MIN. SETBACK FROM STREET WALL (ZRS-24):  
REQUIRED: 10 FT. ALONG WIDE STREETS  
PROPOSED: 15 FT. ALONG WIDE STREETS  
15 FT. ALONG NARROW STREETS

MAX. BUILDING HEIGHT (ZRS-24):  
PERMITTED: 75 FT. ABOVE BASE PLANE  
PROPOSED: 100 FT.

REAR YARD SETBACK (ZRS-603):  
REQUIRED: 10 FT.  
PROPOSED: NONE

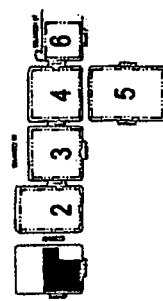
REAR YARD (ZRS-332):  
REQUIRED: 30 FT.  
PROPOSED: NONE

REAR YARD EQUIVALENT (ZRS-332):  
REQUIRED: 40 FT.  
PROPOSED: NONE

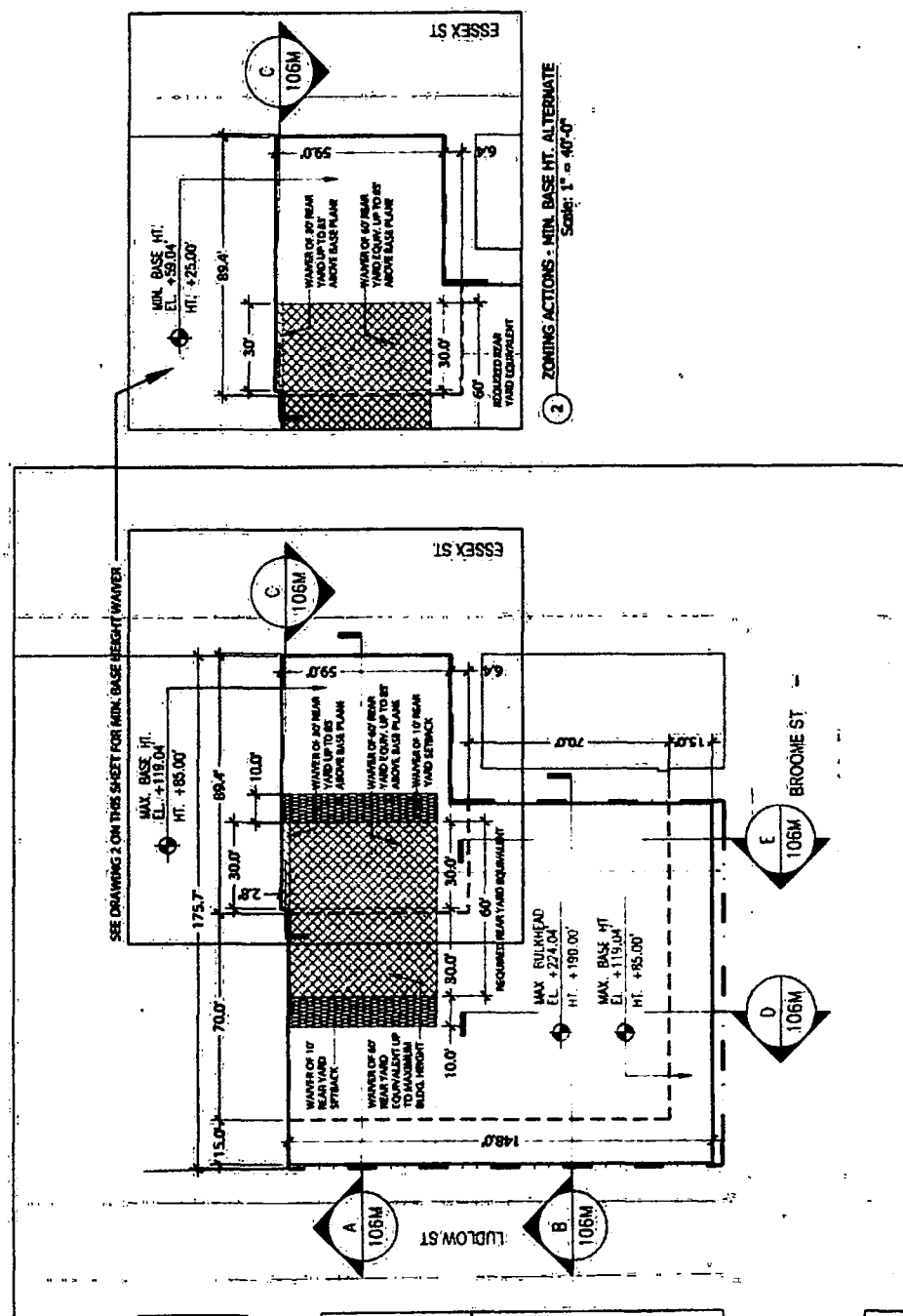
## LEGEND

- STREET CURB LINE
- ZONING LOT LINE
- ZONING LOT DIVISION LINE
- MAXIMUM BLDG. BASE ENVELOPE
- MAXIMUM TOWER & MARSH ENVELOPE
- NON-COMPLIANT HEIGHT AND SETBACK AREA OF BUILDING ENVELOPE TO BE WAVED UNDER SECTION 2074-243
- NON-COMPLIANT AREA OF REQUIRED REAR YARD TO BE WAVED UNDER SECTION 2074-243
- NON-COMPLIANT AREA OF REQUIRED REAR YARD EQUIVALENT TO BE WAVED UNDER SECTION 2074-243
- NON-COMPLIANT AREA OF REQUIRED REAR YARD SETBACK ABOVE MAX. BASE HEIGHT TO BE WAVED UNDER SECTION 2074-243

ALL ENVELOPE HEIGHTS ABOVE BASE PLANE



KEY SITE PLAN



ZONING ACTIONS - MIN. BASE HT. ALTERNATE  
Scale: 1" = 40'-0"

Drawing based on topographic survey prepared by Central Point Associates, Inc. dated July 6, 2011. All point building outlines are shown for reference purposes only.

ZONING ACTIONS PLAN: ZONING LOT 1  
Scale: 1" = 40'-0"

REGISTERED ARCHITECT  
NEW YORK STATE  
JAMES H. NEWBY  
105M  
21 MARCH 2011  
215138

105M

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
42 West 11 Street  
New York, NY 10011  
Tel: 212.771.1000  
Fax: 212.771.1001  
New York City Department of Planning  
150 West Street, 15th Floor  
New York, NY 10038  
Tel: 212.312.3000  
Fax: 212.312.3001  
New York City Department of Buildings  
150 West Street, 15th Floor  
New York, NY 10038  
Tel: 212.312.3000  
Fax: 212.312.3001



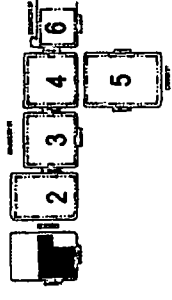
PROJECT NO. 105N-11P  
DATE: 01/01/2010  
DRAWN BY: MJK  
CHECKED BY: MJK  
SCALE: AS SHOWN  
ZONING ACTIONS PLAN  
(NON-RESIDENTIAL)  
ZONING LOT 1  
1" = 40'-0"  
DATE: 01/01/2010  
PROJECT NO. 105N-11P

**105N**

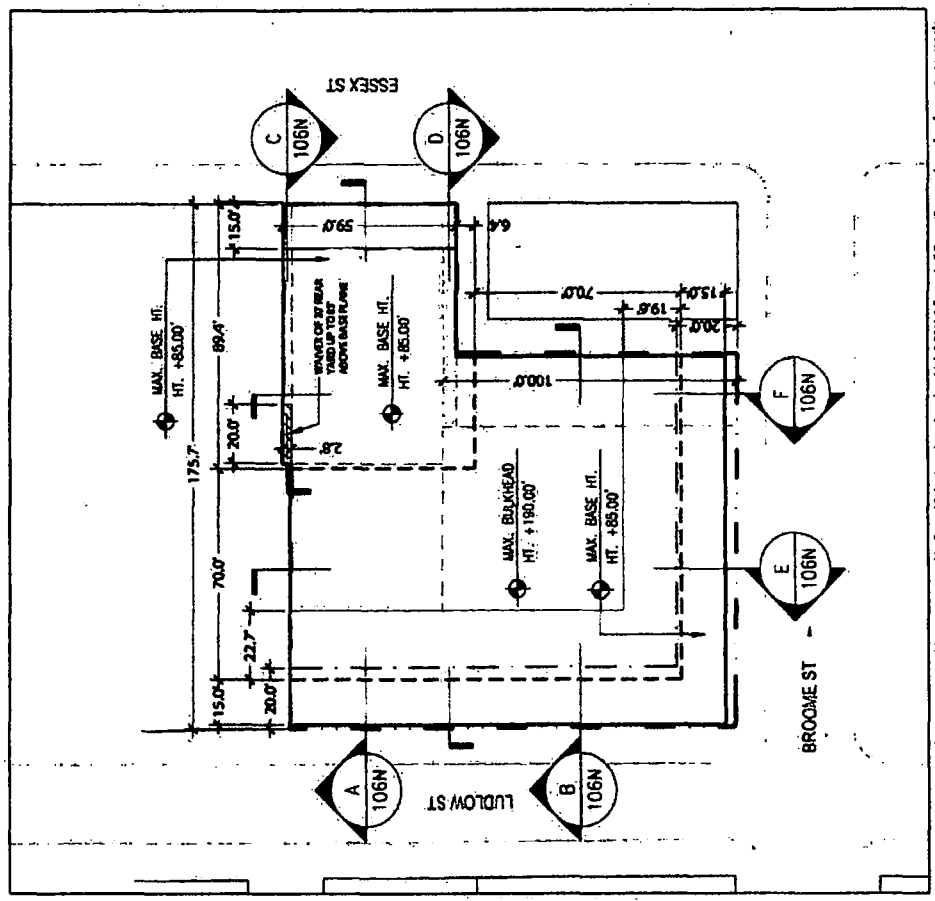
**ZONING REQUIREMENTS:**  
MAX. BASE HEIGHT (Z200-432):  
PERMITTED: LESSER OF 6 STORIES OR 65 FT. ABOVE  
CURB LEVEL  
PROPOSED: 68 FT. ABOVE AVERAGE CURB LEVEL  
MIN. INITIAL SETBACK DISTANCE (Z203-432):  
REQUIRED: 18 FT. FROM STREET LINE ALONG WIDE  
STREETS  
20 FT. FROM STREET LINE FROM  
MARRIOW STREETS  
PROPOSED: 10 FT. FROM STREET LINE ALONG WIDE  
STREETS  
18 FT. FROM STREET LINE ALONG  
MARRIOW STREETS  
SKY EXPOSURE PLANE (Z203-432):  
REQUIRED: 2.5 TO 1 ALONG WIDE STREETS  
2.5 TO 1 ALONG MARRIOW STREETS  
PROPOSED: NONE  
REAR YARD (Z203-20):  
REQUIRED: 20 FT.  
PROPOSED: NONE

**LEGEND**  
STREET CURB LINE  
ZONING LOT LINE  
ZONING LOT DIMENSION LINE  
MAXIMUM BLDG. BASE ENVELOPE  
MAXIMUM TOWER & MIDDLE ENVELOPE  
REQUIRED INITIAL SETBACK DISTANCE  
NON-COMPLIANT HEIGHT AND SETBACK  
AREA OF MAXIMUM BUILDING ENVELOPE  
TO BE WAVED UNDER SECTION 24-07(b)  
NON-COMPLIANT AREA OF REQUIRED  
REAR YARD TO BE WAVED UNDER  
SECTION 24-07(b)

ALL ENVELOPE HEIGHTS ABOVE AVERAGE CURB LEVEL



KEY SITE PLAN



Drawing based on topographic survey prepared by Conrad Peltz Associates, Inc. dated July 4, 2011. Ludlow building at 106N are shown for reference purposes only.

ZONING ACTIONS PLAN: ZONING LOT 1  
Scale: 1" = 40'-0"

1

# Seward Park

## Mixed-Use Development Project

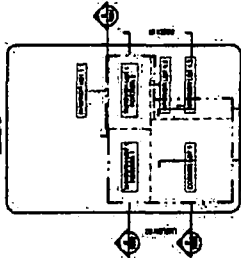
### Beyer Blinder Belle

Architects 9 Penn Plaza  
41 New York Ave  
New York, NY 10019  
Tel: 212 512 2000

Prepared by: Beyer Blinder Belle  
Date: 08/20/12  
Project No: 12-0001  
Drawing No: 222-001-001  
Scale: As Shown  
Sheet No: 106M  
Date: 08/20/12

ZONING REGULATIONS FOR MIXED-USE BUILDINGS (ORDS 39-2508-03/2012-03/09)

- Guiding Zoning District: CA-1
- Residential Equivalent: R7
- Min. Permitted Floor Height: 40 FT.
- Min. Permitted Base Height: 60 FT.
- Max. Permitted Base Height: 78 FT.
- Min. Permitted Building Footprint Area: 18 FT. (along North Street)
- Min. Permitted Building Footprint Area: 10 FT. (along West Street)
- Required Floor-Yard Setback: 10 FT.
- Required Base-Yard: 20 FT.
- Required Floor-Yard Enclosure: 60 FT.



BASE PLANE (INDICATED)  
REFER TO SHEET 106M FOR BASE PLANE DIAGRAM FOR ZONING LOT 1

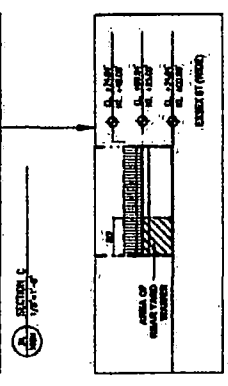
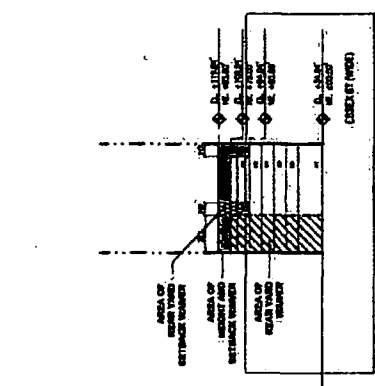
**LEGEND**

- STREET CORNER LINE
- ZONING LOT LINE
- MINIMUM PERMITTED BUILDING ENVELOPE
- MINIMUM PERMITTED BUILDING ENVELOPE
- PLACES WHERE THE BUILDING ENVELOPE IS NOT APPLICABLE (e.g., PARKING GARAGE)
- COMPLIANT AREA OF RETIRED AREA OF BUILDING ENVELOPE
- NON-COMPLIANT AREA OF RETIRED AREA OF BUILDING ENVELOPE TO BE RETIRED UNDER SECTION 250-14.2
- NON-COMPLIANT AREA OF RETIRED AREA OF BUILDING ENVELOPE TO BE RETIRED UNDER SECTION 250-14.2
- NON-COMPLIANT AREA OF RETIRED AREA OF BUILDING ENVELOPE TO BE RETIRED UNDER SECTION 250-14.2
- NON-COMPLIANT AREA OF RETIRED AREA OF BUILDING ENVELOPE TO BE RETIRED UNDER SECTION 250-14.2
- NON-COMPLIANT AREA OF RETIRED AREA OF BUILDING ENVELOPE TO BE RETIRED UNDER SECTION 250-14.2

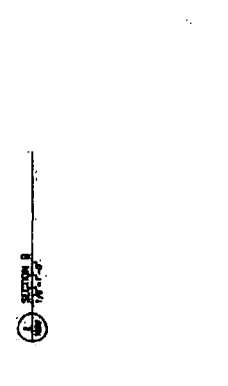
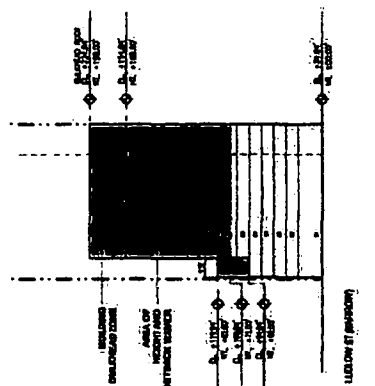
**ZONING ACTIONS SECTIONS (MIXED-USE) ZONING LOT 1**

DATE: 08/20/12  
DRAWN BY: [Name]  
CHECKED BY: [Name]

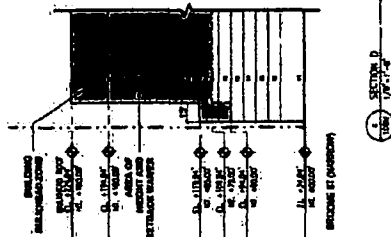
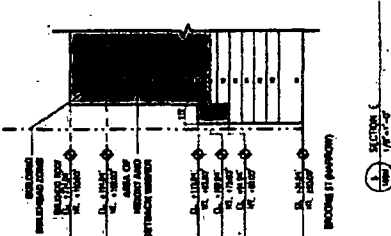
106M



SECTION C  
1/8" = 1'-0"



SECTION F  
1/8" = 1'-0"



Drawings based on topographic survey prepared by Conrad Post-Remediation, Inc. dated July 4, 2011.  
Vertical Elevations based on the Benchmark of Manhattan Datum.

# Seward Park

## Mixed-Use Development Project

**Beyer Blinder Belle**

Address: 18 West 11th St  
 New York, NY 10011  
 Tel: 212 771 1800  
 Fax: 212 771 1801  
 Website: www.bbbl.com

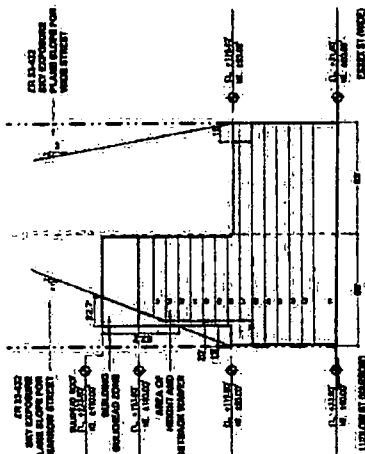
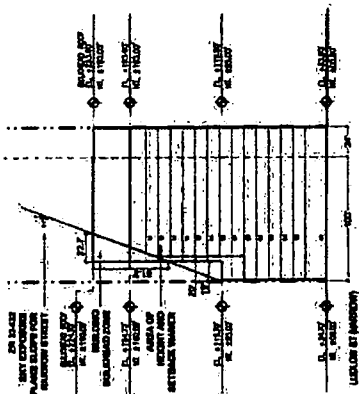
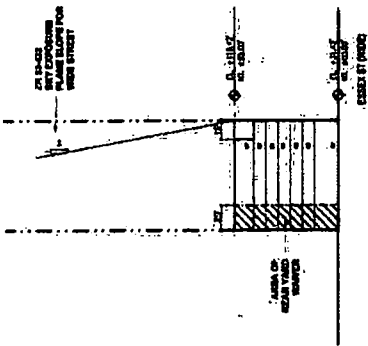
ZONING REGULATIONS FOR NON-RESIDENTIAL BUILDINGS (2013-42, 2003-3)

Building Height: 85 FT. or 8 stories, whichever is less.  
 Max. Permitted Base Height: 85 FT. or 8 stories, whichever is less.

Required Sky Exposure Plane: 2.7 to 1 (on Average Core Level) 5.5 to 1 (on Whole Street)

Min. Total Baseback Distance: 25 FT. (along Average Street) 25 FT. (along Whole Street)

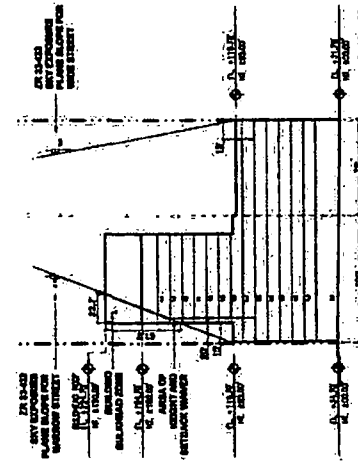
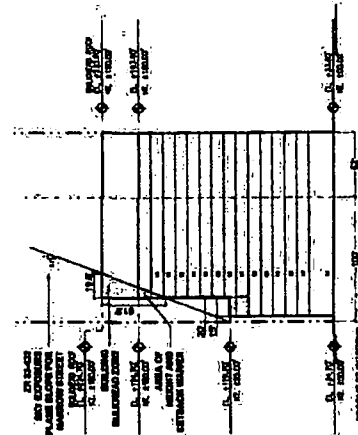
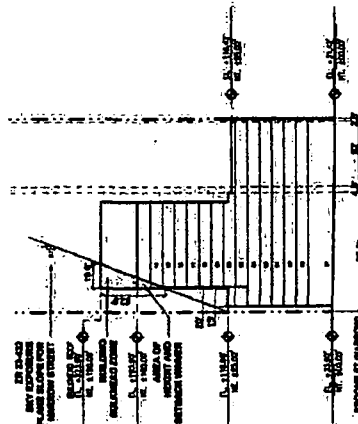
Required Base Yield: 30 FT



SECTION C  
1/8" = 1'-0"

SECTION B  
1/8" = 1'-0"

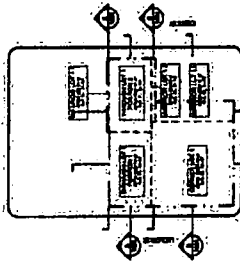
SECTION A  
1/8" = 1'-0"



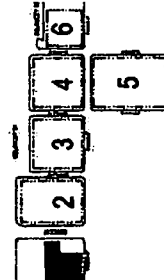
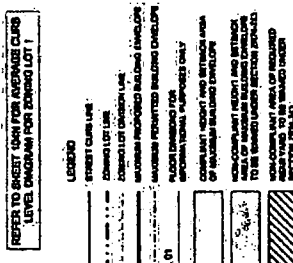
SECTION E  
1/8" = 1'-0"

SECTION I  
1/8" = 1'-0"

SECTION D  
1/8" = 1'-0"



SECTION F  
1/8" = 1'-0"



SECTION G  
1/8" = 1'-0"

Drawings based on topographic survey prepared by Coastal Point Associates, Inc., dated July 8, 2011.  
 Vertical Elevations based on the Benchmark of Manhattan Datum.



PROJECT NO. 106N  
 SHEET NO. 1 OF 1  
 DATE: 07/11/11  
 ZONING ACTIONS: SECTION 1 (NON-RESIDENTIAL) ZONING LOT 1  
 PROJECT NO. 106N  
 SHEET NO. 1 OF 1

106N

# Seward Park

## Mixed-Use Development Project

**Beyer Blinder Belle**

Architect & Planning LP

45 West 42 Street  
New York, NY 10018  
212 677-1200

New York City Department of Planning  
111 West 30th Street  
New York, NY 10001  
212 312-2200

New York City Department of Buildings  
111 West 30th Street  
New York, NY 10001  
212 312-2200

New York City Department of Transportation  
111 West 30th Street  
New York, NY 10001  
212 312-2200

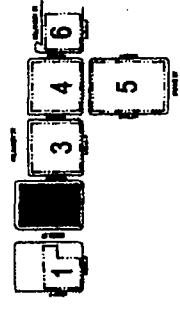
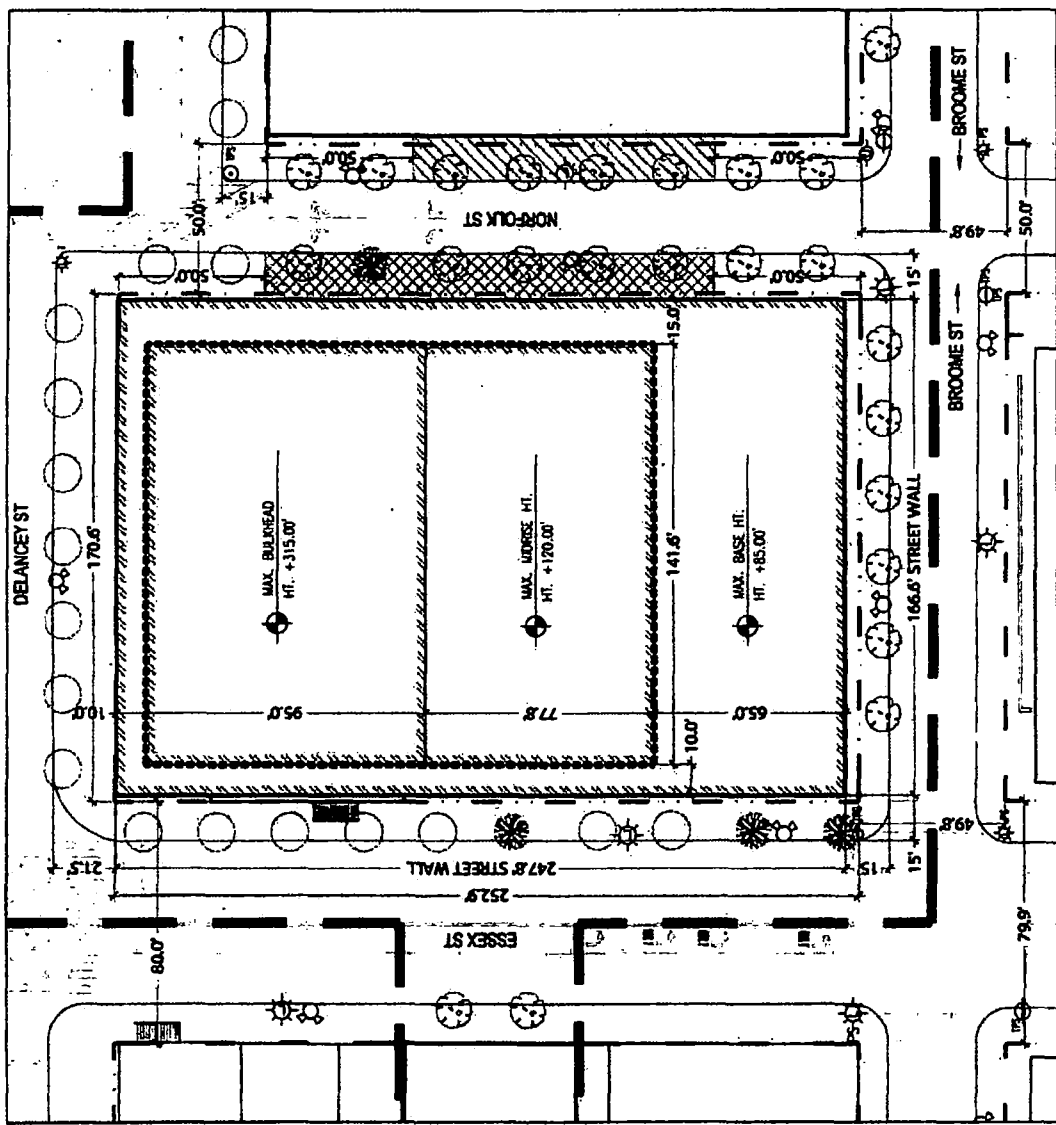
Local Consultant  
111 West 30th Street  
New York, NY 10001  
212 312-2200

### LEGEND

- SEWARD PARK LARGE SCALE GENERAL DEVELOPMENT BOUNDARY
- STREET CURB LINE
- TAX LOT LINE
- MAXIMUM BASE ENVELOPE AND ILLUSTRATIVE STREET WALL LINE
- MAXIMUM ENVELOPE: TOWER AND MIDRISE ZONE
- MAXIMUM ENVELOPE: OPTION 1 (SEE BUILDING ENVELOPE DIAGRAMS)
- EXISTING STREET TREE
- PROPOSED STREET TREE
- REQUIRED STREET TREE OVER EXISTING SUBTERRANEAN SPACE
- EXISTING FIRE HYDRANT
- EXISTING METAL STREET LIGHT
- EXISTING TRAFFIC SIGNAL
- EXISTING TELEPHONE POLE
- EXISTING WOOD UTILITY POLE
- EXISTING WOOD POLE WITH TRAFFIC SIGNAL
- CURB CUT ZONE (PARKING) ZONE AT STREET LEVEL WHERE GARAGE ENTRANCES ARE PERMITTED
- CURB CUT ZONE (PARKING & LOADING) ZONE AT STREET LEVEL WHERE BOTH GARAGE AND LOADING ENTRANCES ARE PERMITTED



PROPOSED SITE PLAN  
ZONING LOT 2  
1" = 40'-0"  
21 MARCH 2011  
SHEET NO. 201



Drawing based on topographic survey prepared by Coastal Point Associates, Inc. dated July 8, 2011. All ground building outlines are shown for reference purposes only.

### SITE PLAN NOTES:

1. Envelope Option 1 shown as established in corresponding "Building Envelope" drawing 203.1. Actual building massing subject to design controls (as indicated on drawings 203.1, 203.2, 203.3, and 203.4).
2. Envelope heights are relative to the Base Plane or the Average Curb Level elevations (as indicated).
3. Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZR 28-41.

KEY SITE PLAN

# Seward Park

## Mixed-Use Development Project

**Reyer Blunder Belle**  
 Architects & Planners LLP  
 41 West 11 Street  
 New York, NY 10011  
 Tel: 212 777 3661

100 West 12th Street  
 New York, NY 10011  
 Tel: 212 333 3333  
 New York City Department of Planning  
 110 West 12th Street  
 New York, NY 10011  
 Tel: 212 312 3333  
 City of New York  
 Department of City Planning  
 110 West 12th Street  
 New York, NY 10011  
 Tel: 212 312 3333

1	REVERTO	Reyer Blunder Belle
2	DATE	08/11/11
3	BY	Reyer Blunder Belle
4	PROJECT	Seward Park
5	SCALE	AS SHOWN
6	DATE	08/11/11
7	BY	Reyer Blunder Belle
8	PROJECT	Seward Park
9	SCALE	AS SHOWN
10	DATE	08/11/11
11	BY	Reyer Blunder Belle
12	PROJECT	Seward Park
13	SCALE	AS SHOWN
14	DATE	08/11/11
15	BY	Reyer Blunder Belle
16	PROJECT	Seward Park
17	SCALE	AS SHOWN
18	DATE	08/11/11
19	BY	Reyer Blunder Belle
20	PROJECT	Seward Park



SEE NEXT SHEET LIST 'P'  
 ALL DIMENSIONS IN FEET UNLESS OTHERWISE NOTED  
 SEE NEXT SHEET LIST 'P'  
 ALL DIMENSIONS IN FEET UNLESS OTHERWISE NOTED

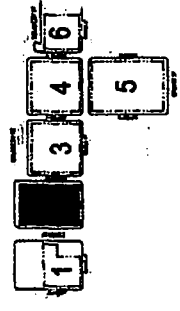
GROUND FLOOR PLAN  
 ZONING LOT 2  
 51' x 207'0"  
 21 MAR 2011  
 21 MAR 2011

### LEGEND

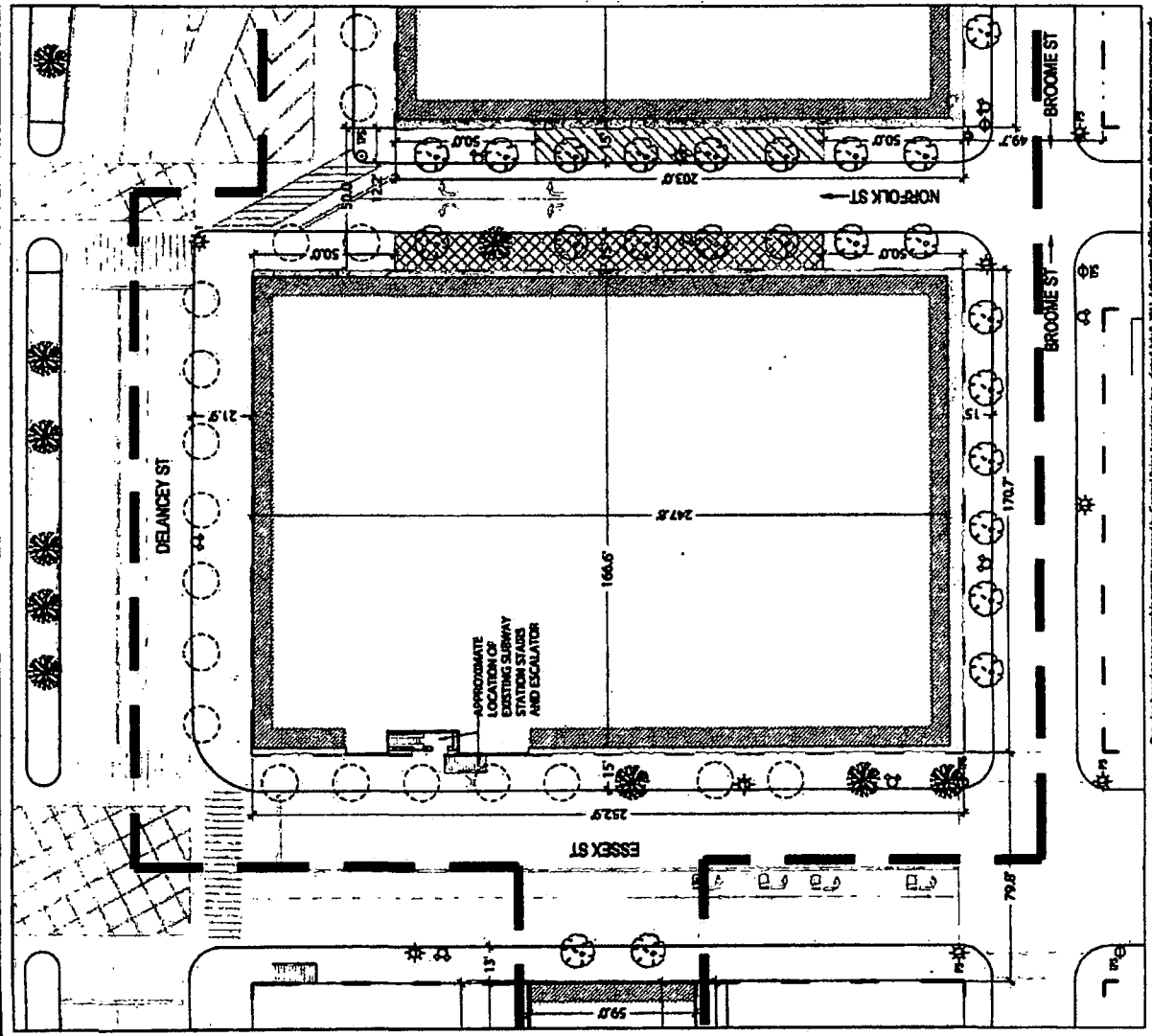
- SEWARD PARK LARGE SCALE GENERAL DEVELOPMENT BOUNDARY
- STREET CURB LINE
- TAX LOT LINE
- ILLUSTRATIVE STREET WALL LINE
- EXISTING STREET TREE
- PROPOSED STREET TREE
- REQUIRED STREET TREE OVER EXISTING SUBTERRANEAN SPACE
- EXISTING FIRE HYDRANT
- EXISTING METAL STREET LIGHT
- EXISTING TRAFFIC SIGNAL
- EXISTING TELEPHONE POLE
- EXISTING WOOD UTILITY POLE
- EXISTING WOOD POLE WITH TRAFFIC SIGNAL
- PUBLICLY-ACCESSIBLE SIDEWALK WIDENING AREA
- GROUND FLOOR FRONTAGE ZONE
- CURB CUT ZONE (INCLUDING SIDEWALK AND STREET LANE) (SEE NOTE 1)
- CURB CUT ZONE (INCLUDING SIDEWALK AND STREET LANE) (SEE NOTE 2)

### GROUND FLOOR NOTES:

- Ground Floor Frontage
  - Building facades will maintain 50% transparency at ground level at elevations ranging from 2 feet to 12 feet above curb level.
  - A minimum of two storefronts are required on the ground floor of Duanevy Street and a minimum of three storefronts are required on the ground floor of Broome Street. The following exception may be made:
    - If a public market or grocery store were located on the ground floor of the building on SIB 2, the minimum storefront requirements would not apply.
  - Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of DR 28-41.
- Sidewalks
  - Sidewalks will be provided at a minimum width of 15', except along the portion of Essex Street adjacent to the existing subway station entrance. The existing sidewalk width of 15' may be maintained, as needed, to accommodate building conditions at the time of construction.
- Parking and Loading
  - The LDCD approves establish a minimum lot of 800 parking spaces.
  - With regard to curb cut locations, curb cuts for parking garage access and/or required loading berths may be allowed within the zone stream on the Site Plan.



KEY SITE PLAN



Drawing based on topographic survey prepared by Coastal Point Associates, Inc., dated July 8, 2011. Adjacent building footprints are shown for reference purposes only.

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architect & Planner LLP

40, Oak St. New York, NY 10036  
Tel: 212.717.1300

New York City Department of Planning

150 Nassau St. New York, NY 10038  
Tel: 212.633.2400

New York City Department of Buildings

130 Nassau St. New York, NY 10038  
Tel: 212.633.2400

Project Number: 203.1

Date: 01/24/2013

Scale: AS SHOWN

Author: J. K. [unclear]

Checked: [unclear]

Approved: [unclear]

01/24/2013

212.633.2400

www.bbby.com



PROJECT NO: 203.1

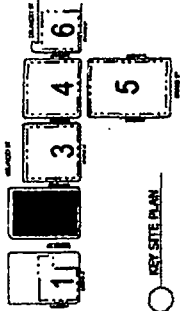
DATE: 01/24/2013

SCALE: AS SHOWN

DATE: 01/24/2013

PROJECT NO: 203.1

DATE: 01/24/2013



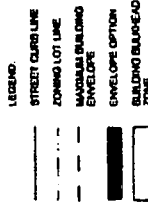
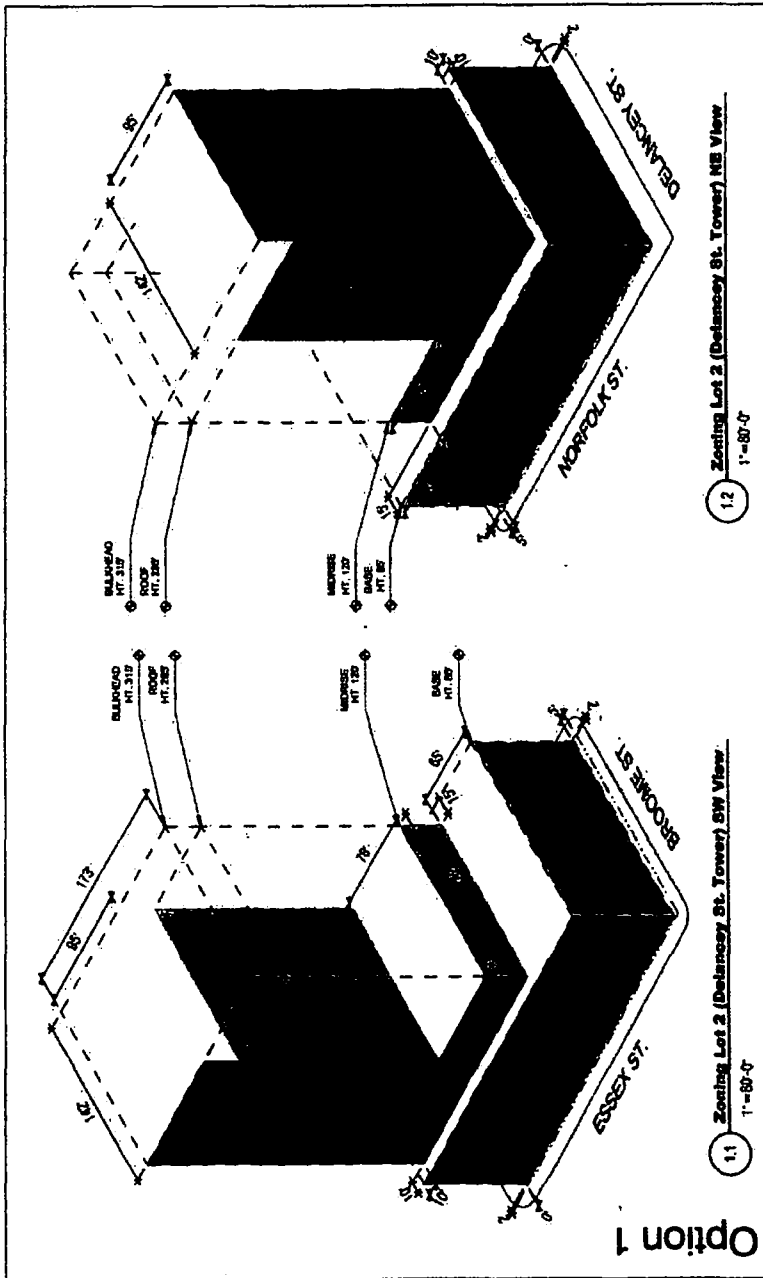
**DESIGN CONTROLS**

**Setback and Footcure**

- Envelope heights are relative to the Base Plane (Sheet 201A) or the Average Curb Level (Sheet 204B) elevations (as indicated).
- The base or setback portions of Site 2 will have a minimum height of 6' and a maximum height of 8'.
- The setback portions of all buildings developed pursuant to the approved Large Scale General Development will have a maximum height of 12'.
- For Zoning Lot 2, Option 1, the envelope option volume indicates the minimum extent of the base and mid-rise portions of the building. The lower portion of the building may be located anywhere above the building base within the envelope option shown. The lower in Option 1 will be limited to a maximum length of 85' and a maximum width of 95'.
- Enclose or each building (including stairs and exterior roof ramps) shall be 60 square feet in area providing access to a roof, roof water pans and necessary mechanical equipment (including exhausters), other than solar or wind energy systems, shall be permitted to exceed the maximum building (roof) heights approved in the LSCD, up to a maximum building height of 30 feet, provided that:
  - such observations shall be located not less than 10 feet from the setback more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevators or stair balustrades (including stairs or vestibules), provided the aggregate width of street walls of such buildings within 10 feet of a street wall, facing each street frontage, limits their average height, in feet, does not exceed an area equal to four feet times the width, in feet, of the street wall of the building facing such frontage.
  - all mechanical equipment shall be screened on all sides that complies with one of the following:
    - the product, in square feet, of the aggregate width of street walls of such observations facing each street frontage, times their average height, shall not exceed an area equal to eight feet times the width, in feet, of the street wall of the building facing such frontage; or
    - 20 percent of the lot coverage of the building.

**Tower Orientation**

- Towers above the mid-rise portion (or less height if optional mid-rise portion is not constructed) shall have a width or depth greater than 95 ft. on Sites 2, 3 and 4 may not be oriented such that two adjacent sides both have a north-south orientation or an east-west orientation. This restriction shall not apply if Option 1 on Site 2 or Option 5 on Site 3 is constructed on one of these sites.



12 Zoning Lot 2 (Delancey St. Tower) NE View  
1"-80'-0"

11 Zoning Lot 3 (Delancey St. Tower) SW View  
1"-80'-0"

203.1

**Seward Park  
Mixed-Use  
Development  
Project**

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
 45 Main St. Boston  
 MA 02109  
 Tel: (617) 352-3300  
 Fax: (617) 352-3333

Site Planning & Landscape Architecture  
 225 Massachusetts Ave.  
 6th Floor  
 Boston, MA 02118  
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 Fax: (617) 552-4801

MEP & Electrical Engineering  
 225 Massachusetts Ave.  
 6th Floor  
 Boston, MA 02118  
 Tel: (617) 552-4800  
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Interior Architecture  
 225 Massachusetts Ave.  
 6th Floor  
 Boston, MA 02118  
 Tel: (617) 552-4800  
 Fax: (617) 552-4801

REGISTERED ARCHITECT  
 STATE OF MASSACHUSETTS

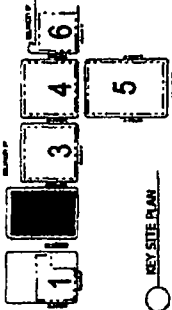
DATE: [blank]  
 TIME: [blank]



**BUILDING ENVELOPE  
DIAGRAMS**  
**ZONING LOT 2**

Scale:	AS INDICATED
Date:	21 MARCH 2012
Project No.:	203.2
Drawing No.:	203.2.1A

**203.2**



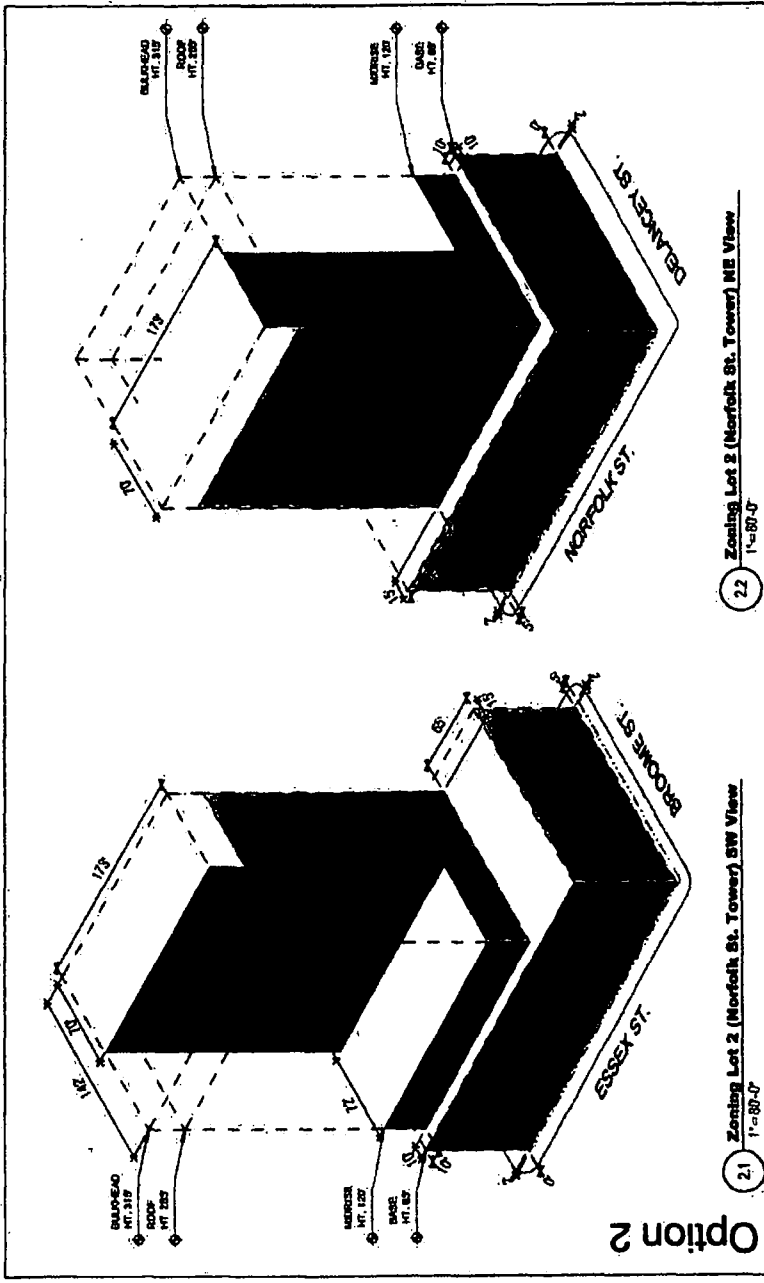
**DESIGN CONTROLS**

**Rule, Height and Setback Envelope Heights are relative to the Base Plane (Sheet 204M) or the Average Curb Level (Sheet 204H) elevations (as indicated).**

- The bases or streetwall portions of Site 2 will have a minimum height of 8'0" and a maximum height of 8'5".
- The midrise portions of all buildings developed pursuant to the approved Large-Scale General Development will have a maximum height of 120'. For Zoning Lot 2, Option 2, the envelope option volume indicates the maximum extent of the base and midrise portions of the building. The lower portion of the building may be located anywhere above the building base within the envelope option shown. The tower in Option 2 will be limited to a maximum length of 180' and a maximum width of 70'.
- Elevators or stair bulkheads (including stairs, and vestibules not larger than 60 square feet in area providing access to a roof, roof access tanks and accessory mechanical equipment (including hot-waterless), other than solar or solar energy systems, shall be permitted to exceed the maximum building (roof) heights approved in the (L)S&D, up to a maximum building height of 30 feet, provided that:
  - such obstructions shall be located not less than 10 feet from the street wall of a building, except that such obstructions need not be set back more than 25 feet from a curved street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevators or stair bulkheads (including stairs or vestibules), provided the aggregate width of street walls of such bulkheads within 10 feet of a street wall, facing such street frontage, does not exceed the width, in feet, of the street wall of the building facing such frontage, times their average height, in feet, of the street wall of the building facing such frontage; and
  - all mechanical equipment shall be screened on all sides that complies with one of the following:
    - the product, in square feet, of the aggregate width of street walls of such obstructions facing such street frontage, times their average height, shall not exceed an area equal to eight feet times the width, in feet, of the street wall of the building facing such frontage; or
    - 20 percent of the lot coverage of the building

**Tower Orientation**

- Towers above the midrise portion (or bases height) if optional midrise portion is not constructed) that have a width or depth greater than 95 ft, on Sites 2, 3, and 4 may not be oriented such that two adjacent sides both have a north-south orientation or an east-west orientation. This restriction shall not apply if Option 4 on Site 2 or Option 5 on Site 3 is constructed on one of those sites.





# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LP  
45 West 13 Street  
New York, NY 10011  
Tel: 212.777.2800

The New York City Department of Buildings  
100 South Street  
New York, NY 10038  
Tel: 646.380.2300

The New York City Department of Planning  
100 South Street  
New York, NY 10038  
Tel: 646.380.2300

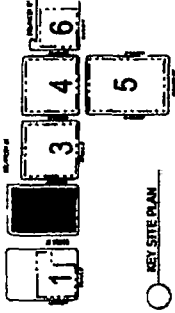
100 South Street  
New York, NY 10038  
Tel: 646.380.2300

Project No.	203.3
Client	
Site	
Scale	
Date	
Author	
Checker	
Project Manager	
Scale	
Date	



Project No.	203.3
Client	
Site	
Scale	
Date	
Author	
Checker	
Project Manager	
Scale	
Date	

203.3

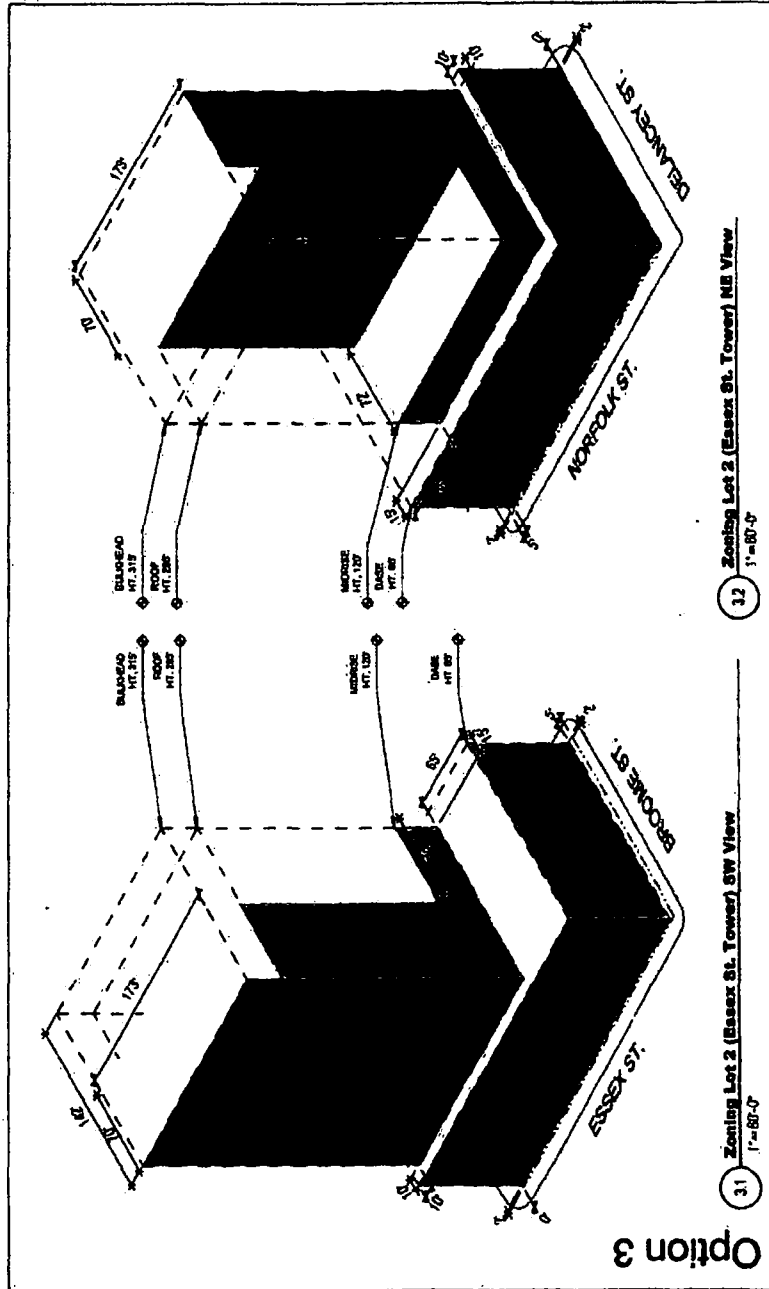


### DESIGN CONTROLS

- 1. Bulk, Height and Setback:** Envelope heights are relative to the Base Plane (Sheet 204A) or the Average Core Level (Sheet 204B) elevations (as indicated). The base or setback position of Site 2 will have a minimum height of 65' and a maximum height of 85'. The relative portions of all buildings developed pursuant to the approved Large-Scale General Development will have a maximum height of 125'.
- 2. For Zoning Lot 2, Option 3:** The envelope option volume indicates the maximum extent of the base and midrise portions of the building. The lower portion of the building may be located anywhere above the building base within the envelope option shown. The lower in Option 3 will be limited to a maximum length of 160' and a maximum width of 70'.
- 3. Elevator or stair bulkheads** (including shafts, and vestibules not larger than 60 square feet in area providing access to a roof, roof water tanks and necessary mechanical equipment (including enclosures), other than solar or wind energy systems, shall be permitted to exceed the maximum building (roof) heights approved in the LSEd, up to a maximum bulkhead height of 30 feet, provided that:
  - such bulkheads shall be located and less than 10 feet from the street wall of a building, except that such bulkheads need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevator or stair bulkheads (including shafts or vestibules), provided the aggregate width of street walls of such bulkheads within 10 feet of a street wall, facing each street frontage, times their average height, in feet, does not exceed an area equal to four feet times the width, in feet, of the street wall of the building facing such frontage.
  - all mechanical equipment shall be screened on all sides that complies with one of the following:
    - the product, in screen test of the aggregate width of street walls of such bulkheads facing each street frontage, times their average height, shall not exceed an area equal to eight feet times the width, in feet, of the street wall of the building facing such frontage; or
    - 20 percent of the lot coverage of the building.

### Tower Obstructions

Towers above the midrise portion (or base height if optional midrise portion is not constructed) that have a width or depth greater than 95.0, on Site 2, 3, and 4 may not be oriented such that two adjacent sides both have a north-south orientation or an east-west orientation. This restriction shall not apply if Option 4 on Site 2 or Option 5 on Site 3 is constructed on one of these sites.



LEGEND

STREET CURB LINE	---
ZONING LOT LINE	----
MAXIMUM BUILDING ENVELOPE	- - - -
ENVELOPE OPTION	■
BUILDING BULKHEAD ZONE	■

31 Zoning Lot 2 (Essex St. Tower) SW View  
1" = 60'-0"

32 Zoning Lot 2 (Essex St. Tower) NE View  
1" = 60'-0"

Option 3

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP

41 West 42 Street  
New York, NY 10018  
Tel: 212 691 8000

New York City Department of Buildings  
200 Varot Street  
New York, NY 10002  
Tel: 646 330 6200

New York City Department of Planning  
220 Varot Street  
New York, NY 10002  
Tel: 646 330 6200

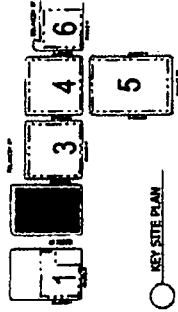
City of New York  
City Engineer  
150 Varot Street  
New York, NY 10002  
Tel: 646 330 6200




NEW YORK STATE  
Professional Engineer  
No. 51199  
Date of Issue: 12/18/2015  
Expires: 12/18/2020

BUILDING ENVELOPE  
DIAGRAMS  
ZONING LOT 2  
AS YZ-2000  
Project No. 203.4  
Date: 12/18/2015

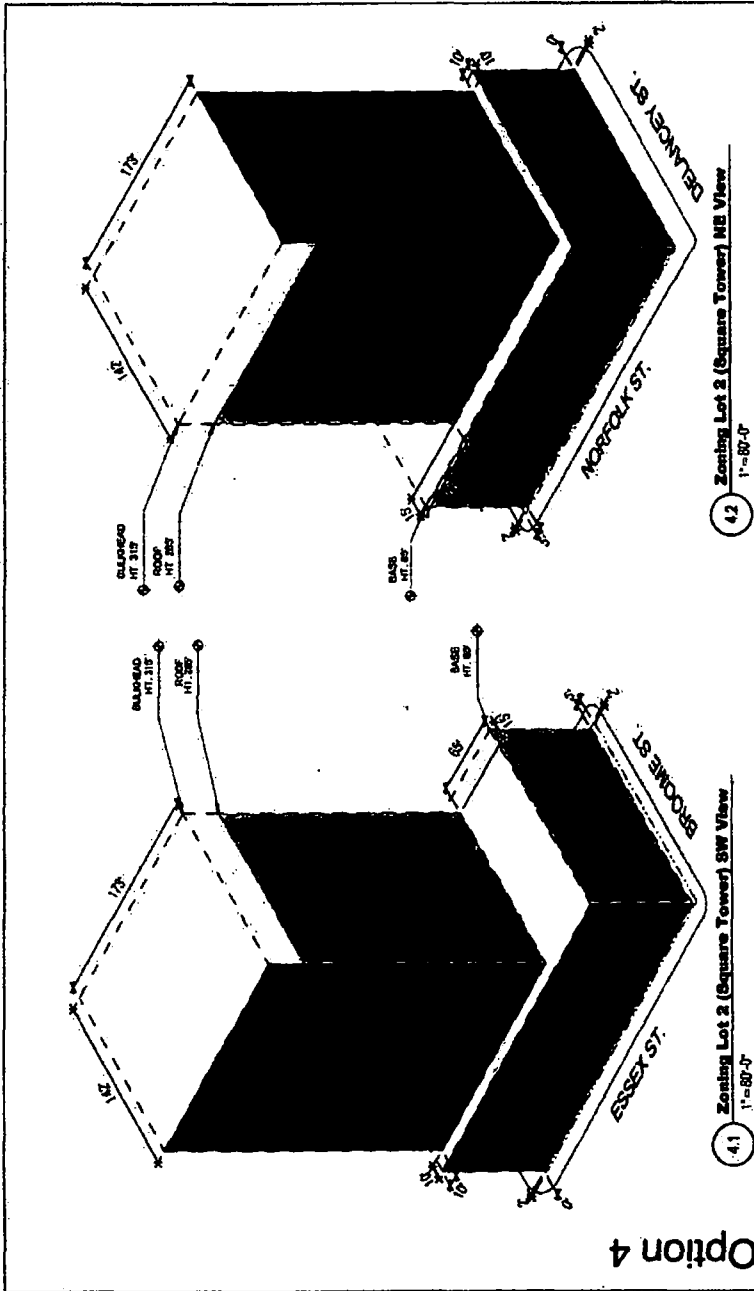
203.4



### GENERAL CONTROLS

1. **Seal, Height and Setback.**
2. Envelope heights are relative to the Average Comb Level (Sheet 204H) elevations.
3. The base on sidewalk portions of Site 2 will have a minimum height of 60' and a maximum height of 85'.
4. The maximum height of all buildings developed pursuant to the approved Large-Scale General Development will have a maximum height of 120'.
5. For Zoning Lot 2, Option 4, the envelope option volume indicates the maximum extent of the base and lower portions of a building with only non-residential uses in the tower.
6. Elevate or seal building entrances (including shafts, and vestibules and larger than 60 square feet in area providing access to a roof, roof water coils and necessary mechanical equipment (including exhausters), other than water or wind energy systems, shall be permitted to exceed the maximum building height of 50 feet, provided that:
  - a. such obstructions shall be located not less than 10 feet from the street wall of a building, except that such obstructions need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevator or shaft building (including shafts or vestibules), provided the aggregate width of street walls of such buildings within 10 feet of a street wall, being each street frontage, times their average height, in feet, does not exceed an area equal to four feet times the width, in feet, of the street wall of the building facing such frontage.
  - b. all mechanical equipment and screening are contained within a volume that complies with one of the following:
    - i. the product, in square feet, of the aggregate width of street walls of such obstructions facing each street frontage, times their average height, shall not exceed an area equal to eight feet times the width, in feet, of the street wall of the building facing such frontage, or
    - ii. the net coverage of all such obstructions does not exceed 20 percent of the net coverage of the building.

**Tower Orientation**  
Towers above the midrise portion (on base height if optimal midrise portion is not constructed) that have a width or depth greater than 85 ft. on Sites 2, 3, and 4 may not be oriented such that two adjacent sides both have a north-south orientation or an east-west orientation. This restriction shall not apply if Option 4 on Site 2 or Option 5 on Site 3 is constructed on one of those sites.



4.1 Zoning Lot 2 (Square Tower) SW View  
1" = 80'-0"

4.2 Zoning Lot 3 (Square Tower) NB View  
1" = 80'-0"

LEGEND

- STREET CURB LINE
- - - ZONING LOT LINE
- MAXIMUM BUILDING ENVELOPE
- ENVELOPE OPTION
- BUILDING BULKING ZONE

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
41 East 13 Street  
New York, NY 10003  
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New York City Department of City Planning  
110 William Street  
New York, NY 10038  
Tel: 312 312 3100

Project Name: Seward Park Mixed-Use Development  
Site No: 204M  
Date: 08/11/11

Scale: As Shown  
Date: 08/11/11  
Drawn By: [Signature]



PROJECT NO. 204M  
DATE: 08/11/11  
DRAWN BY: [Signature]

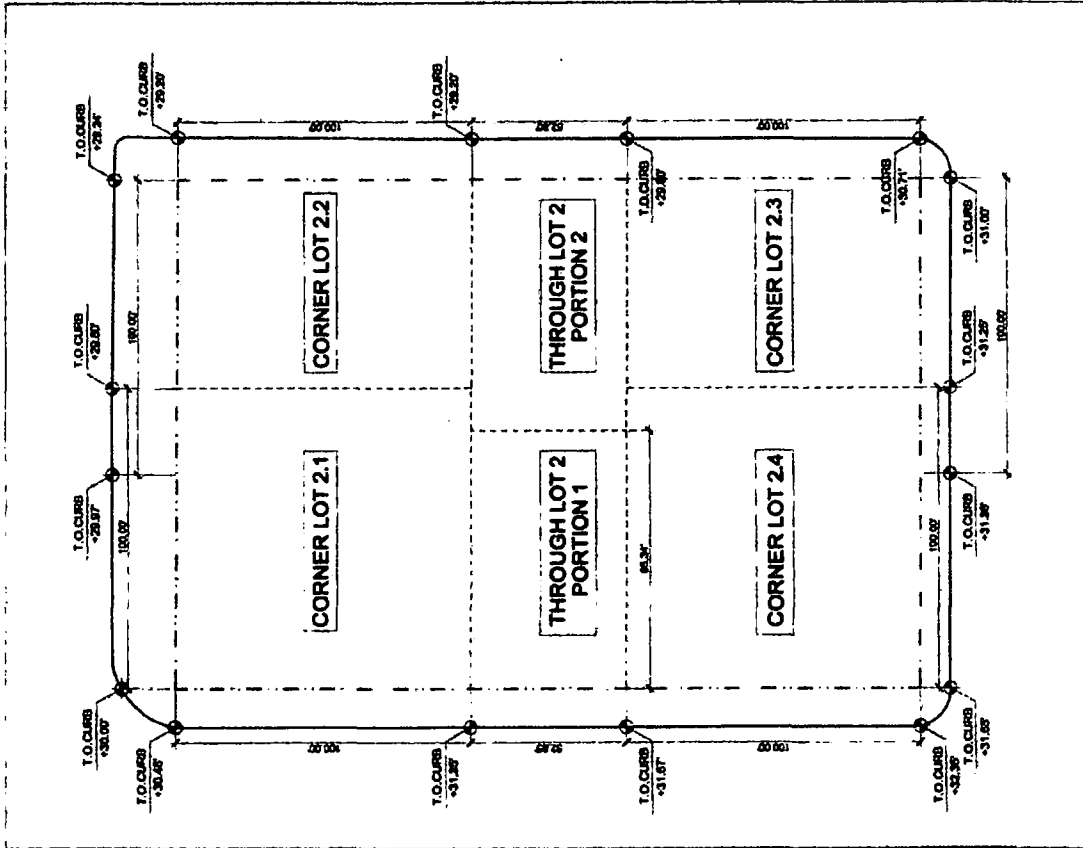
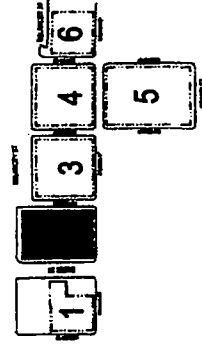
BASE PLANE DIAGRAM  
ZONING LOT 2  
1-4-07  
22 MARCH 2011  
PROJECT NO. 204M

**204M**

**BASE PLANE CALCULATION (Z12-10):**  
BASE PLANE = ACL ELEVATION + GLOT COVERAGE / ZONING LOT AREA %  
CORNER LOT 2.1:  $30.47 \times 10.408 \text{ SF} / 10.212 \text{ SF} = 12.10'$   
CORNER LOT 2.2:  $20.47 \times 14.037 \text{ SF} / 10.212 \text{ SF} = 0.77'$   
CORNER LOT 2.3:  $31.00 \times 10.408 \text{ SF} / 10.212 \text{ SF} = 0.42'$   
CORNER LOT 2.4:  $30.00 \times 10.408 \text{ SF} / 10.212 \text{ SF} = 0.42'$   
THROUGH LOT 2:  $30.00 \times 10.408 \text{ SF} / 10.212 \text{ SF} = 12.65'$   
**SITE 2 BASE PLANE: 30.10'**

**LEGEND**

- STREET CURB LINE
- - - ZONING LOT LINE
- - - ZONING LOT DIVISION LINES



Drawing based on topographic survey prepared by Coastal Point Associates, Inc. dated July 8, 2011. All dimensions to be verified in the field.

# Seward Park

Mixed-Use  
Development  
Project

**Beyer  
Blinder  
Belle**

Architect & Planner LLP

43 West 43 Street  
New York, NY 10018  
212.771.7000

New York City Department of Planning

115 West 47 Street  
New York, NY 10019  
212.431.2000

New York City Department of Buildings

130 Nassau Street  
New York, NY 10038  
212.200.6000

1400 Broadway  
New York, NY 10018  
212.312.2000

1200 Broadway  
New York, NY 10018  
212.312.2000

1250 Broadway  
New York, NY 10018  
212.312.2000

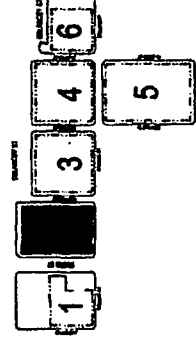
**AVERAGE CURB LEVEL (2012-10):**  
ACL EL. = T.O. CURB 1 + T.O. CURB 2 / 2

**SITE 2 A.C.L. CALCULATIONS:**

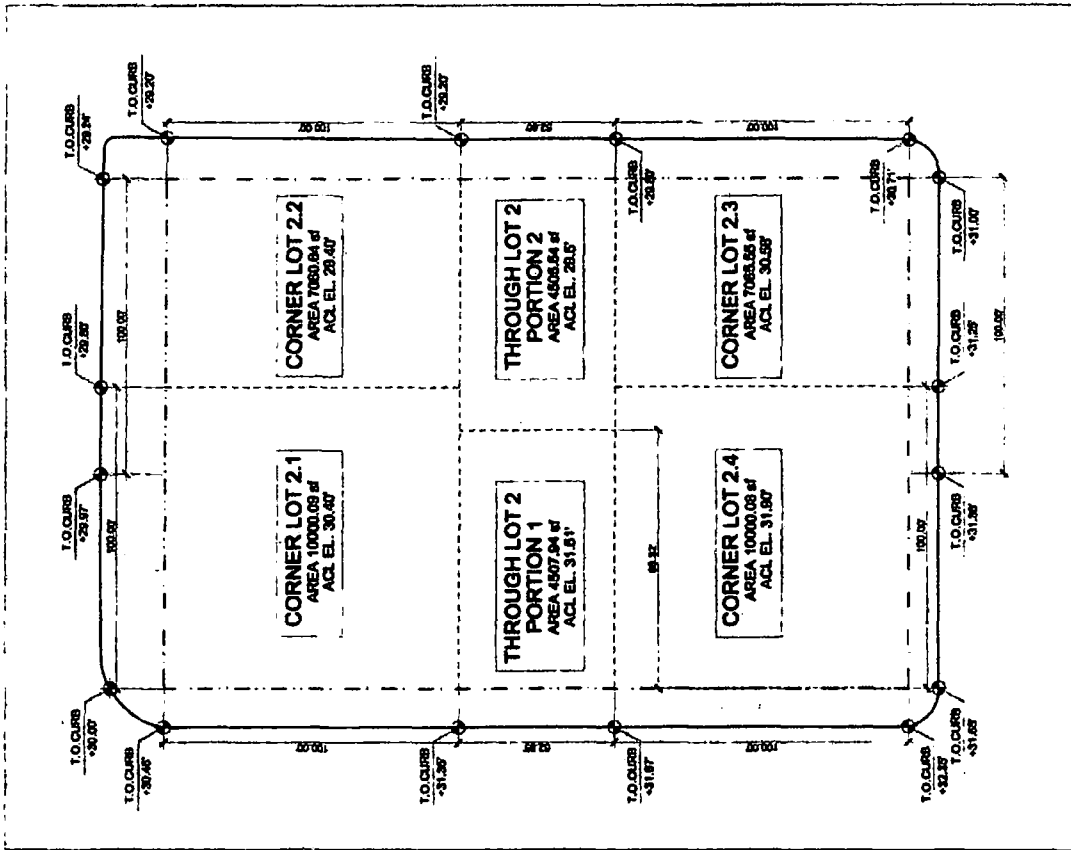
CORNER LOT 2.1:  $(29.30' + 29.50') / 2 = 29.40'$   
 CORNER LOT 2.2:  $(29.30' + 29.50') / 2 = 29.40'$   
 CORNER LOT 2.3:  $(29.30' + 29.50') / 2 = 29.40'$   
 CORNER LOT 2.4:  $(29.30' + 29.50') / 2 = 29.40'$   
 THROUGH LOT 2.1:  $(31.50' + 31.60') / 2 = 31.55'$   
 THROUGH LOT 2.2:  $(29.20' + 29.50') / 2 = 29.35'$

**LEGEND**

- STREET CURB LINE
- - - ZONING LOT LINE
- - - ZONING LOT DIVISION LINES



KEY SITE PLAN



Drawings based on topographic survey prepared by Conrad Peck, Inc., dated July 6, 2011. All dimensions to be verified in the field.

NO.	DATE	DESCRIPTION



NO.	DATE	DESCRIPTION

**AVERAGE CURB LEVEL  
ZONING LOT 2**

Area	1000.09
Perimeter	21.00
Level	31.50
Page No.	21
Scale	AS SHOWN
Drawn By	JLB
Checked By	JLB
Date	07/10/12

**204N**

# Seward Park

## Mixed-Use Development Project

**Beyer Blinder Belle**

Architect & Planner LLP

11 Ave 11 West  
New York, NY 10011  
212.771.7100

New York City Department of Planning

100 Nassau Street  
New York, NY 10038  
212.312.3200

New York City Department of Buildings

100 Nassau Street  
New York, NY 10038  
212.312.3200

100 Nassau Street  
New York, NY 10038  
212.312.3200

100 Nassau Street  
New York, NY 10038  
212.312.3200

### ZONING REQUIREMENTS:

MAX. BASE HEIGHT (ZONING 206):  
60 FT.  
PROPOSED: 60 FT.

MAX. BASE HEIGHT (ZONING 206):  
PERMITTED: 60 FT. ABOVE BASE PLANE  
PROPOSED: 85 FT. ABOVE BASE PLANE

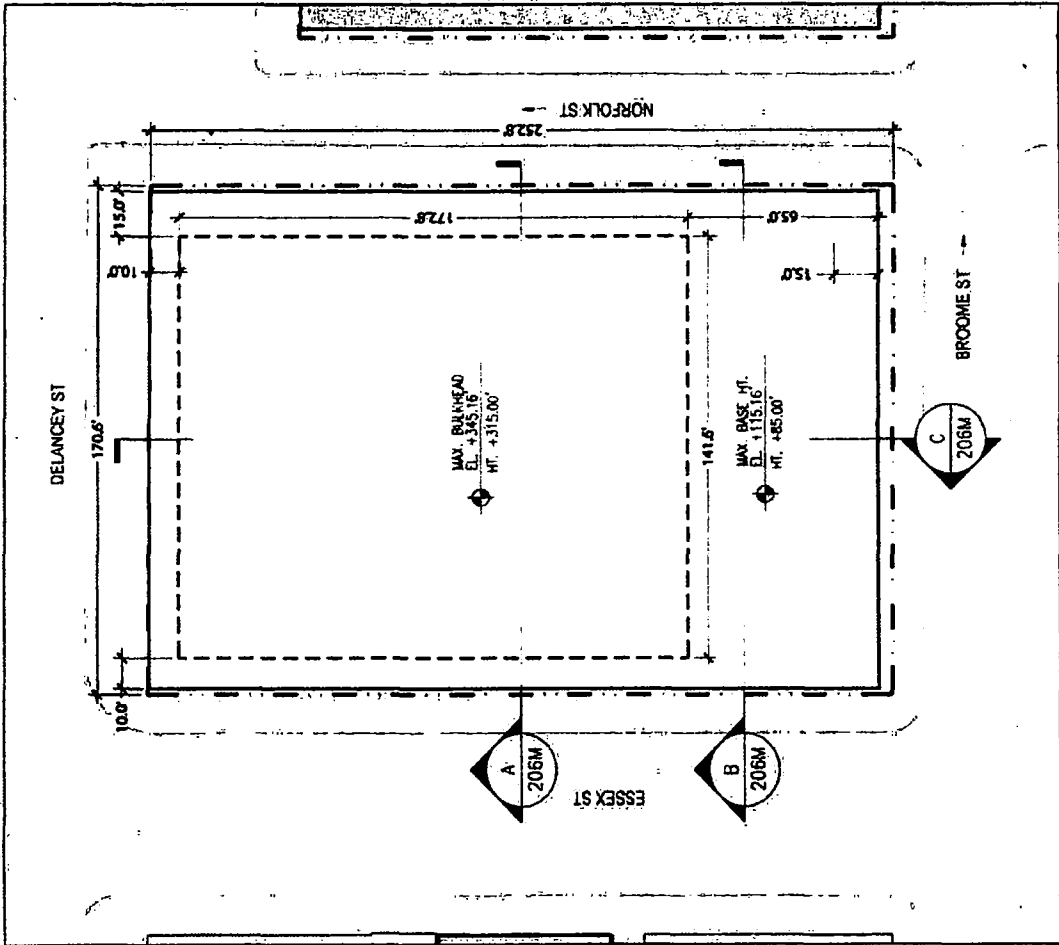
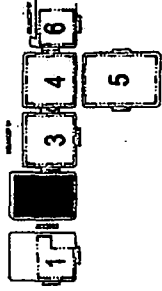
MIN. SETBACK FROM STREET WALL (ZONING 206):  
REQUIRED: 10 FT. ALONG WIDE STREETS  
15 FT. ALONG NARROW STREETS  
PROPOSED: 10 FT. ALONG WIDE STREETS  
15 FT. ALONG NARROW STREETS

MAX. BUILDING HEIGHT (ZONING 206):  
PERMITTED: 75 FT. ABOVE BASE PLANE  
PROPOSED: 280 FT. (315 FT. TYPICAL BUILDING)

### LEGEND

- STREET CURB LINE
- ZONING LOT LINE
- MAXIMUM BLDG. BASE ENVELOPE
- MAXIMUM TOWER & ROOF ENVELOPE
- NON-COMPLIANT HEIGHT AND SETBACK AREA OF MAXIMUM BUILDING ENVELOPE TO BE WITHIN UNDER SECTION 2304(b)(4)

ALL ENVELOPE HEIGHTS ABOVE BASE PLANE

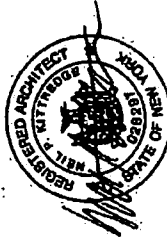


Drawing based on topographic survey provided by Central Point Associates, Inc., dated July 8, 2017. All shown building outlines are shown for reference purposes only.

1 ZONING ACTIONS PLAN: ZONING LOT 2  
Scale: 1" = 40'-0"

KEY SITE PLAN

205M



PROJECT NO. 17-01  
DATE: 07/10/17  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

ZONING ACTIONS PLAN  
(MIXED-USE)  
ZONING LOT 2

DATE: 07/10/17  
SCALE: AS SHOWN  
PROJECT NO. 17-01

**Seward Park  
Mixed-Use  
Development  
Project**

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
45 East 11 Street  
New York, NY 10003  
Tel: 212.717.2500

New York City Department of Buildings  
100 Nassau Street  
New York, NY 10038  
Tel: 311.300.3643

Project No. 2003-4332  
Date: 07/08/2011  
Scale: 1" = 40'-0"

No.	Date	Description
1	07/08/2011	Initial Set
2	07/20/2011	Revised Set
3	08/01/2011	Final Set



DATE: 08/18/2011  
BY: [Signature]  
FOR: [Signature]

**ZONING ACTIONS PLAN  
(NON-RESIDENTIAL)  
ZONING LOT 2**

**205N**

**ZONING REQUIREMENTS:**

MAX. BASE HEIGHT (Z203-432):  
PERMITTED: LESSER OF 8 STORES OR 85 FT. ABOVE  
AVERAGE CURB LEVEL.

PROPOSED: 85 FT. ABOVE AVERAGE CURB LEVEL.

MIN. RETRACTION DISTANCE (Z203-432):  
REQUIRED: 10 FT. FROM STREET LINE ALONG WIDE  
STREETS.

PROPOSED: 10 FT. FROM STREET LINE ALONG WIDE  
STREETS.

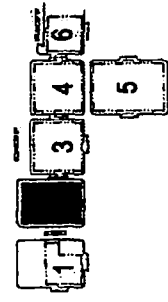
SKY EXPOSURE PLANE (Z203-432):  
REQUIRED: 8.6 TO 1 ALONG WIDE STREETS  
2.7 TO 1 ALONG NARROW STREETS.

PROPOSED: NONE

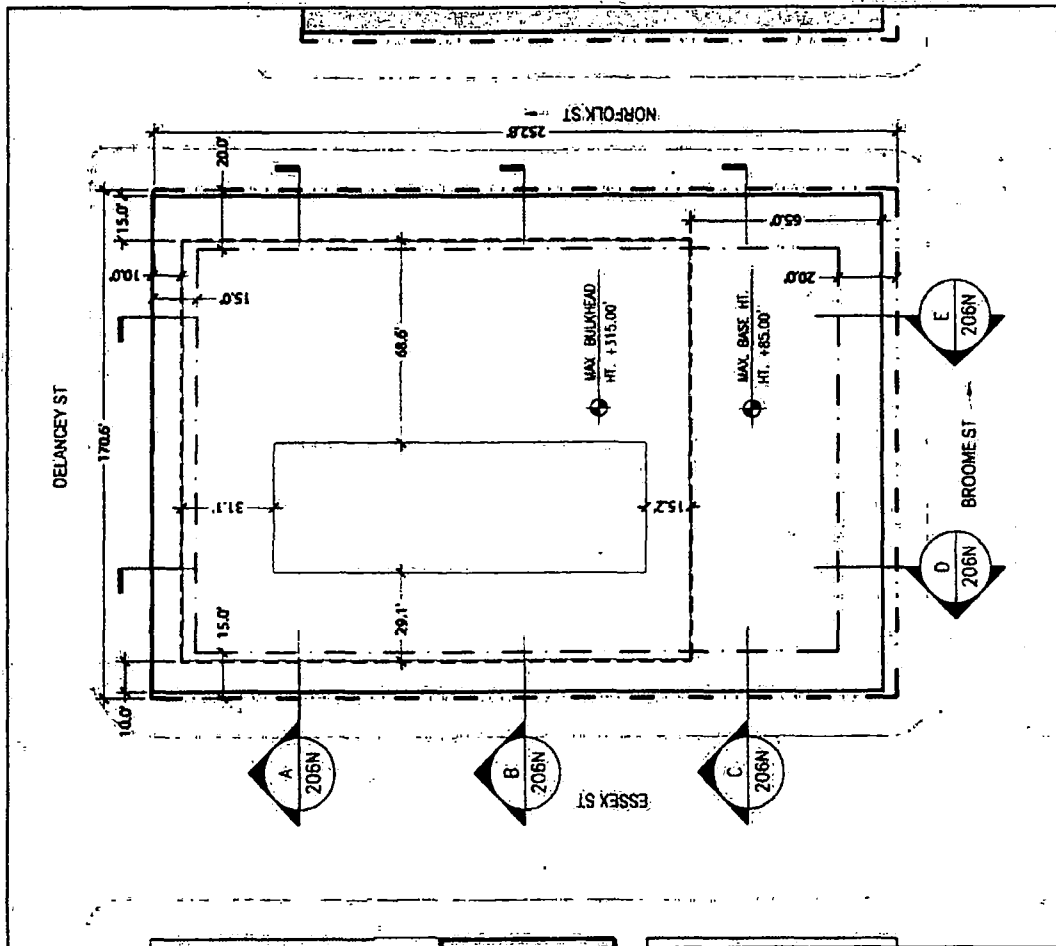
**LEGEND**

- STREET CURB LINE
- ZONING LOT LINE
- MAXIMUM BUILDING ENVELOPE
- MAXIMUM TOWER & MANSION ENVELOPE
- REQUIRED RETRACTION DISTANCE
- NON-COMPLIANT HEIGHT AND RETRACTION  
AREA OF MAXIMUM BUILDING ENVELOPE  
TO BE WIPED UNDER SECTION 2406(1)(3)

ALL ENVELOPE HEIGHTS ABOVE AVERAGE CURB LEVEL.



**KEY SITE PLAN**



Drawings based on topographic survey prepared by Carroll Hunt Associates, Inc., dated July 8, 2011. Adjacent building outlines are shown for reference purposes only.

**ZONING ACTIONS PLAN: ZONING LOT 2**  
Scale: 1" = 40'-0"

# Seward Park Mixed-Use Development Project

## Beyer Blinder Belle

Architects & Planners LLP

41 West 42 Street  
New York, NY 10018  
212 512 2000

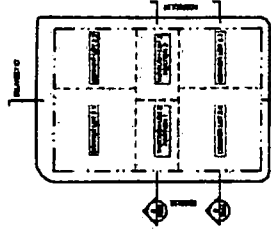
New York City Department  
of Buildings  
150 William Street  
New York, NY 10038  
212 312 2400

New York City Department  
of Planning  
115 West 27th Street  
New York, NY 10001  
212 312 2200

Light Department  
100 West 42nd Street  
New York, NY 10018  
212 312 2400

### ZONING REGULATIONS FOR MIXED-USE BUILDINGS (206M-1):

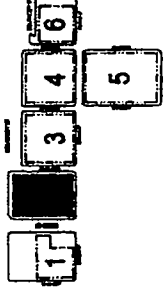
- Building Zoning District: CB-1
- Residential Equivalent: RT
- Min. Permitted Base Height: 40 FT.
- Max. Permitted Base Height: 60 FT.
- Min. Permitted Story Height: 7.5 FT.
- Max. Permitted Height from Street Level: 15 FT. (above Maximum Street) 10 FT. (above Mean Street)



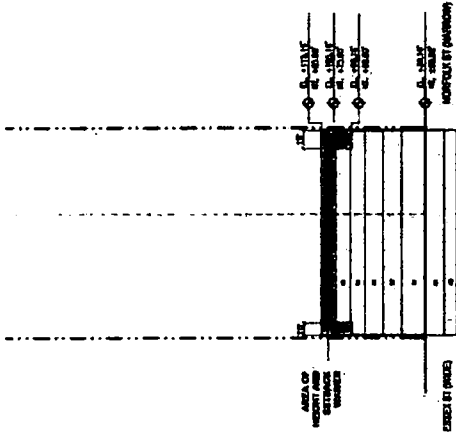
SEE PAGE ENDS

REFER TO SHEET 206 FOR BASE PLANE  
DIMENSIONS FOR CORNER LOT 2

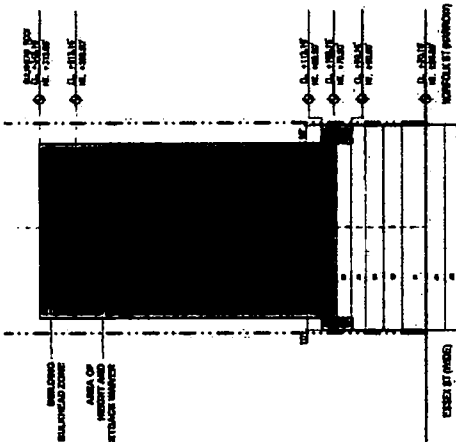
- STREET CURVE LINE
- ZONING LOT DIVISION LINE
- MIXED-USE PERMITTED BUILDING ENVELOPE
- RESIDENTIAL PERMITTED BUILDING ENVELOPE
- COMBINE HEIGHT AND SETBACK AREA OF MIXED-USE BUILDING ENVELOPE
- HEIGHT RESTRICTION AND SETBACK AREA OF MIXED-USE BUILDING ENVELOPE
- FLOOR DIVISIONS FOR INFORMATIONAL PURPOSES ONLY



SEE SHEET 206M



SECTION A  
1/8" = 1'-0"



SECTION B  
1/8" = 1'-0"



SECTION C  
1/8" = 1'-0"

Changes based on Department Survey prepared by Control Point  
Associates, Inc. dated July 8, 2011.  
Vertical Elevations based on the Benchmark of Manhattan Datum.



PROJECT NO. 12-1117  
DATE: 08/14/12  
BY: [Signature]  
CHECKED BY: [Signature]  
ZONING ACTIONS  
SECTIONS  
(MIXED-USE)  
ZONING LOT 2  
1/8" = 1'-0"  
21 WASHINGTON STREET  
212 512 2000

206M

# Seward Park

## Mixed-Use Development Project

### Beyer Blinder Belle

Architects & Planners LLP

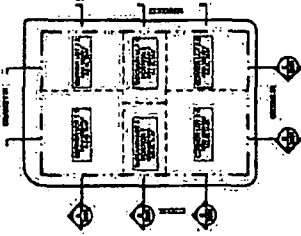
41 East 11 Street  
New York, NY 10003  
Tel: 212 717 8887

New York City Department of Planning  
110 West 37 Street  
New York, NY 10018  
Tel: 212 312 2200

Local Consultant:  
Professional Engineer  
New York City Department of Planning  
110 West 37 Street  
New York, NY 10018  
Tel: 212 312 2200

**ZONING REGULATIONS FOR  
NON-RESIDENTIAL BUILDINGS (ZNR-3-02)**  
Existing Zoning District: CR-1  
Residential Equivalent: R7  
Max. Permitted Store Height: 88 FT. 0 IN. (8 stories)  
Setback & Mass:  
Required Setback: 20 FT. 0 IN. (from street)  
Starting for above Average Curb Line:  
0.8 to 1 (for 100 ft. Street)

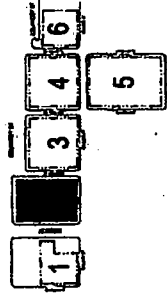
Max. Intra-Block Distance:  
18 FT. (along Street) (along Block Street)



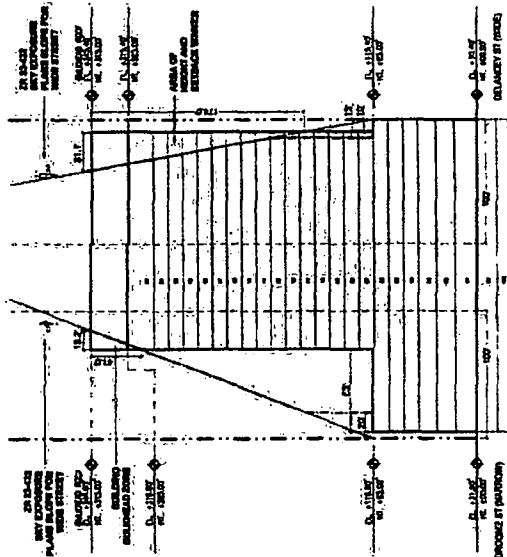
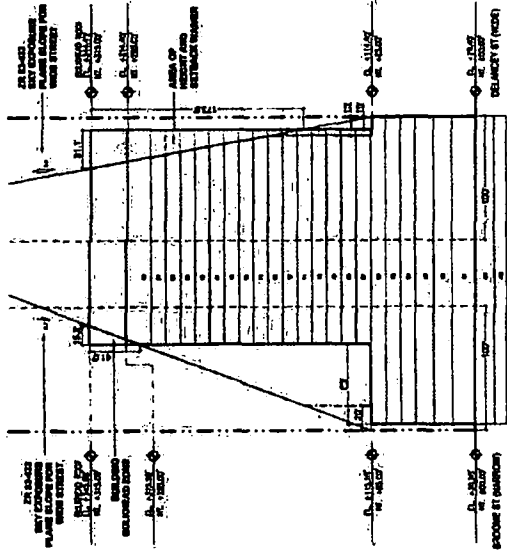
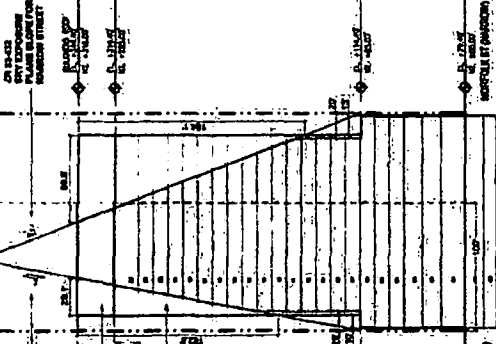
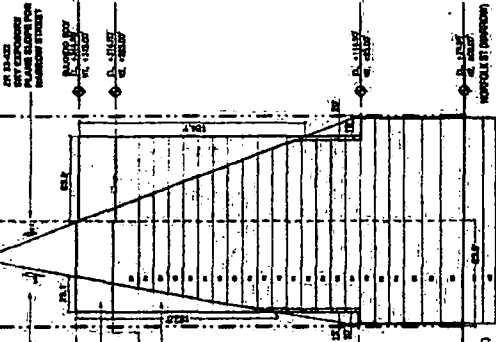
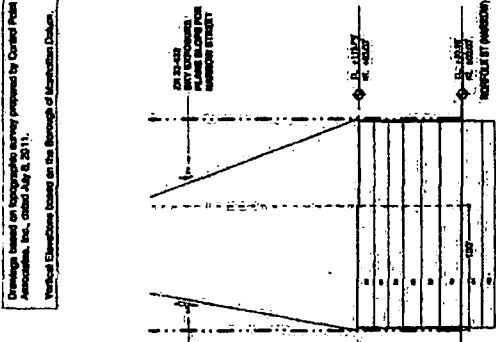
1. AVERAGE CURB LEVEL, OVERLAP

REFER TO STREET FOR AVERAGE CURB LEVEL DURING POST-CONSTRUCTION

- STREET CURB LINE
- ZONING LOT DIVISION LINE
- MAXIMUM PERMITTED BUILDING ENVELOPE
- MAXIMUM PERMITTED BUILDING ENVELOPE OF MULTIPLE BUILDING DEVELOPMENT
- NON-COMPLIANT HEIGHT AND SETBACK AREA OF MULTIPLE BUILDING DEVELOPMENT TO BE MARKED UNDER SECTION DEVELOPMENT FLOOR DIVISIONS FOR INFORMATIONAL PURPOSES ONLY



REV. SET. PLAN



SECTION D

SECTION E

REV. SET. PLAN

**ZONING ACTIONS  
SECTION 2  
(NON-RESIDENTIAL)  
ZONING LOT 2**

206N







# Seward Park

## Mixed-Use Development Project

**Reyer Blinder Belle**  
Architects & Planners LLP  
41 East 17th Street  
New York, NY 10011  
212.977.7600

Project Name: Seward Park Mixed-Use Development  
Site Address: 100 East 17th Street, New York, NY 10011  
Client: [Redacted]  
Date: [Redacted]  
Scale: 1" = 10'-0"



DATE: 08/15/17	BY: [Redacted]
DATE: 08/15/17	BY: [Redacted]
DATE: 08/15/17	BY: [Redacted]
DATE: 08/15/17	BY: [Redacted]
DATE: 08/15/17	BY: [Redacted]

GROUND FLOOR PLAN  
ZONING LOT 3  
S-100  
S-100  
S-100

- ### LEGEND
- SEWARD PARK LARGE SCALE GENERAL DEVELOPMENT BOUNDARY
  - STREET CURB LINE
  - TAX LOT LINE
  - ILLUSTRATIVE STREET WALL LINE
  - EXISTING STREET TREE
  - PROPOSED STREET TREE
  - REQUIRED STREET TREE COVER
  - EXISTING SUBTERRANEAN SPACE
  - EXISTING FIRE HYDRANT
  - EXISTING METAL STREET LIGHT
  - EXISTING TRAFFIC SIGNAL
  - EXISTING TELEPHONE POLE
  - EXISTING WOOD UTILITY POLE
  - EXISTING WOOD POLE WITH TRAFFIC SIGNAL
  - PUBLICLY-ACCESSIBLE SIDEWALK
  - WIDENING AREA
  - GROUND FLOOR FRONTAGE ZONE
  - CURB CUT ZONE (PARKING OR OTHER USES SUBJECT TO APPROVAL AND TO BE PROVIDED FOR PERMITS)
  - CURB CUT ZONE (PARKING OR OTHER USES SUBJECT TO APPROVAL)
  - COMBUSTIBLE STREET FRONTAGE ZONE

### GROUND FLOOR NOTES:

**Ground Floor Frontage**

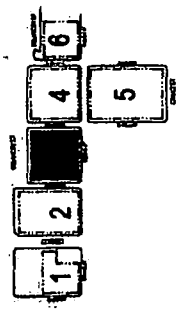
- Building footprints will maintain 50% transparency of ground level at elevations ranging from 2 feet to 12 feet above curb level.
- A minimum of two storefronts are required on the ground floor of the building on Site 3; the minimum storefronts are required on the ground floor of Broome Street. The following exception may be made:
- If a public market or grocery store were located on the ground floor of the building on Site 3, the minimum storefront requirements would not apply.
- Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZR 24-41.

**Site Specifics**

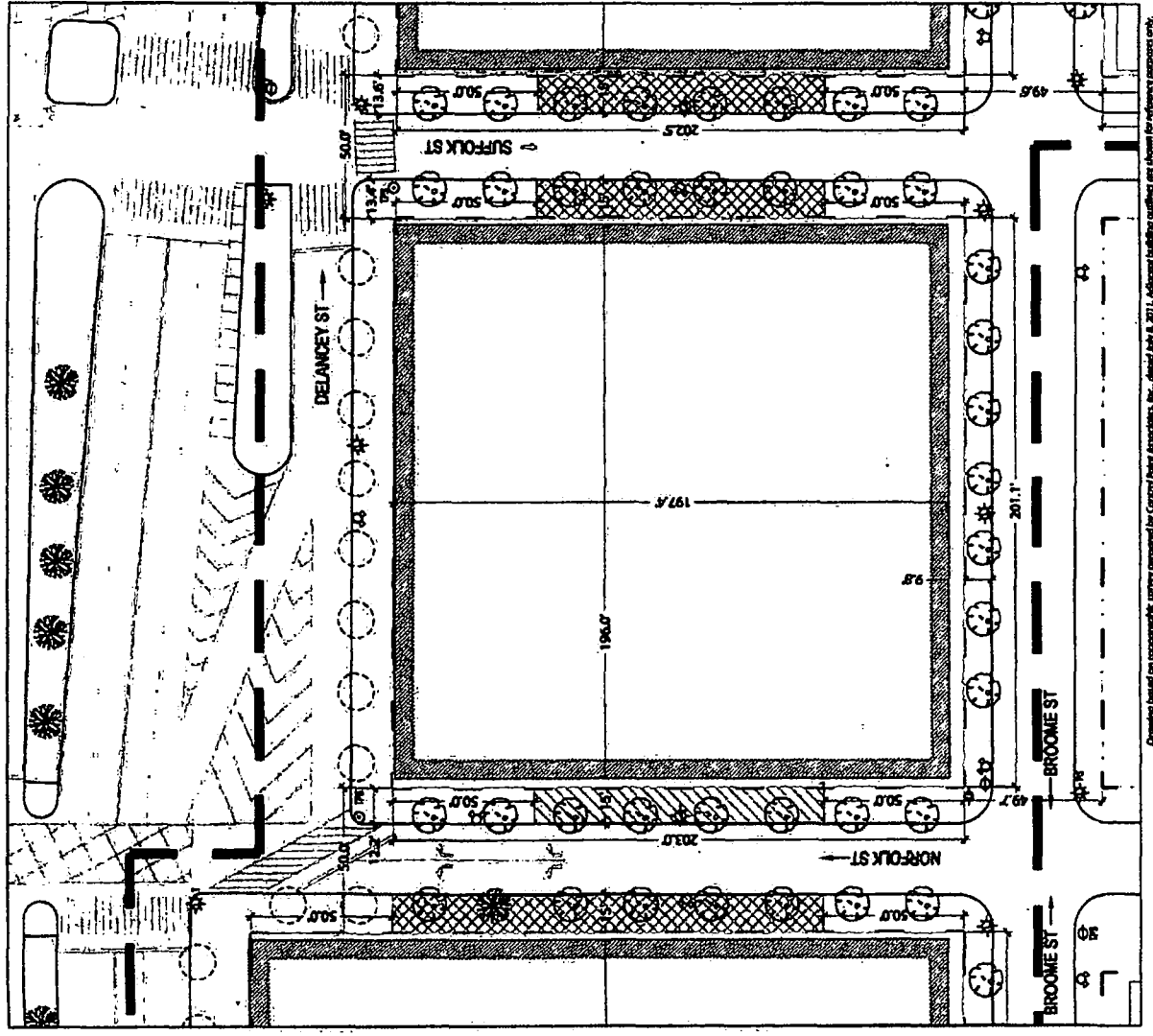
- Storefronts will be provided at a minimum width of 15'.

**Parking and Loading**

- The LSCD approvals establish a maximum limit of 600 parking spaces.
- With regard to curb cut locations, curb cuts for parking garage access and/or required loading berths may be added within the zones shown on the Site Plan.
- At Site 3, two different parking garage entrance options will be approved pursuant to this special permit—one at Suffolk Street and one at Norfolk Street. At each zone as that parking garage entrance locations are submitted for review by the DOB at this site, only one of these options will be developed.



KEY SITE PLAN



Drawing based on topographic survey prepared by General Peer Associates, Inc., dated July 8, 2011. Adjacent building outlines are shown for reference purposes only.

**Seward Park  
Mixed-Use  
Development  
Project**

**Beyer  
Blinder  
Belle**

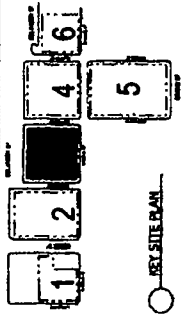
Architects & Planners LLP  
42 One Wall Street  
New York, NY 10005  
Tel: 212 693 1500  
Fax: 212 693 1501  
www.bbblaw.com

REGISTERED ARCHITECT  
STATE OF NEW YORK



**BUILDING ENVELOPE  
DIAGRAMS  
ZONING LOT 3**

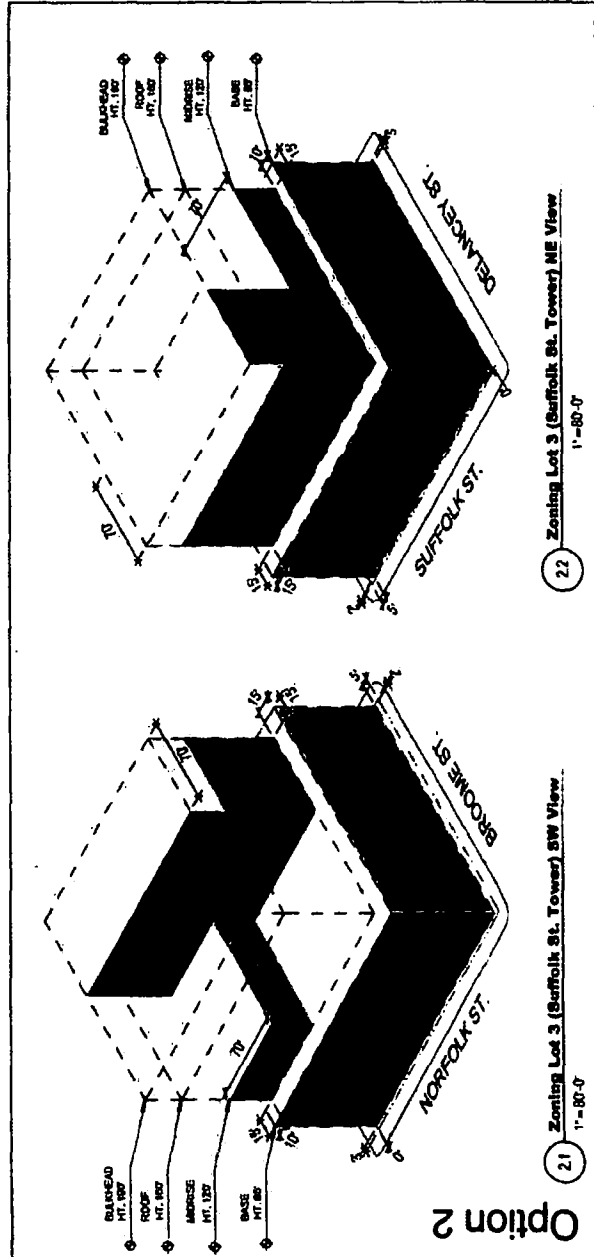
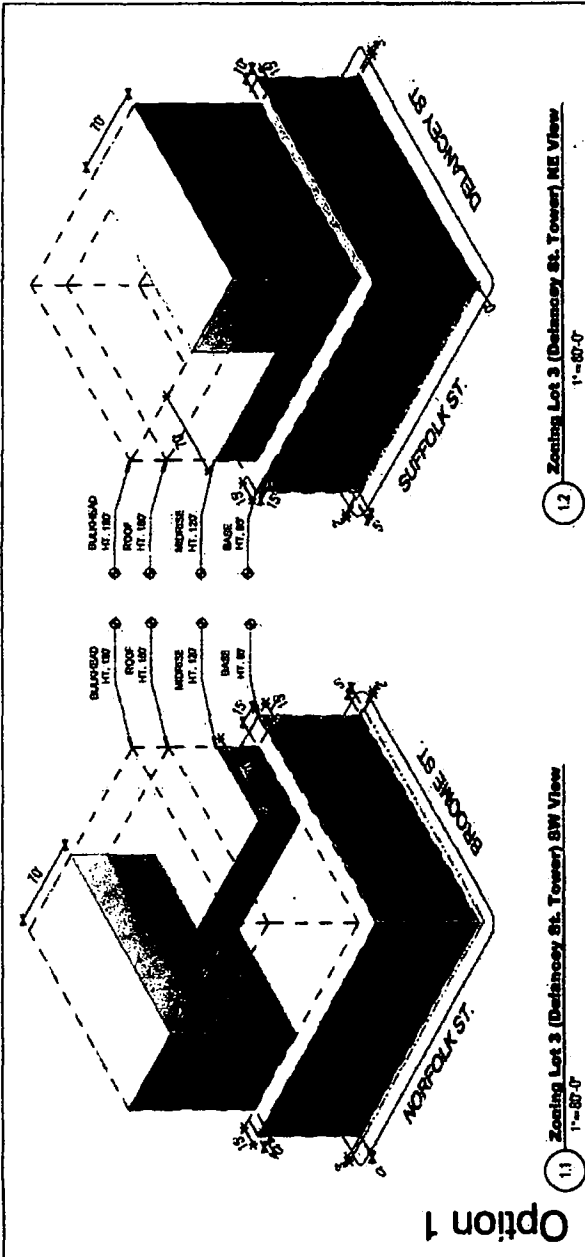
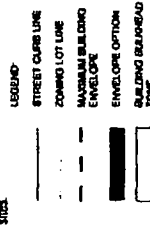
**303.1**



**DESIGN CONTROLS**

- Scale, Height and Footcandle**  
Envelope heights are relative to the Base Plane (see Sheet 300A) or the Average Comb Level (see Sheet 300A).
- The base or attachment portions of Site 3 will have a minimum height of 50' and a maximum height of 65'.
  - The midrise portions of all footcandle developed pursuant to the approved Large-Scale General Development will have a maximum height of 120'.
  - For Zoning Lot 3, Options 1 and 2, the envelope option volume indicates the maximum extent of the base and midrise portions of the building. The tower portion of the building may be located anywhere above the building less within the respective envelope options shown in both options. The tower will be limited to a maximum length of 160' and a maximum width of 70'.
  - Creator or rear balconies (including stairs and vestibules) not larger than 60 square feet in area providing access to a roof, roof water tanks and necessary mechanical equipment (including enclosures), other than solar or wind energy systems, shall be permitted to exceed the maximum building (roof) height approved in the LSCD, up to a maximum building height of 30 feet, provided that:
    - such observations shall be located not less than 10 feet from the street wall of a building, except that such observations need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevators or stair balconies (including stairs or vestibules), provided the aggregate width of street walls of such balconies within 10 feet of a street wall, being each depth traverse, times their average height, in feet, does not exceed an area equal to four feet times the width, in feet, of the street wall of the building facing such traverse;
    - all mechanical equipment shall be screened on all sides that complies with one of the following:
      - the product, in square feet, of the aggregate width of street wall of such observations facing each street traverse, times their average height, shall not exceed an area equal to eight feet times the width, in feet, of the street wall of the building facing such traverse; or
      - the lot coverage of all such observations does not exceed 20 percent of the lot coverage of the building.

**Tower Observations**  
Towers above the midrise portion (or base height if optional midrise portion is not constructed) that have a width or depth greater than 95 ft. on Sites 2, 3, and 4 may not be oriented such that two adjacent faces both have a north-south orientation or an east-west orientation. This restriction shall not apply if Option 4 on Site 2 or Option 5 on Site 3 is constructed on one of those sites.



# Seward Park Mixed-Use Development Project

## Beyer Blinder Belle

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44 West 13 Street  
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200 West Street  
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City of New York  
100 Nassau Street  
New York, NY 10038  
Tel: 212.312.3200  
Fax: 212.312.3201  
www.dcp.nyc.gov

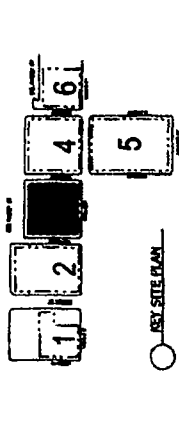
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100	10/1/11



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DATE	10/1/11
BY	[Signature]
CHECKED BY	[Signature]
SCALE	AS SHOWN
DATE	10/1/11
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DATE	10/1/11

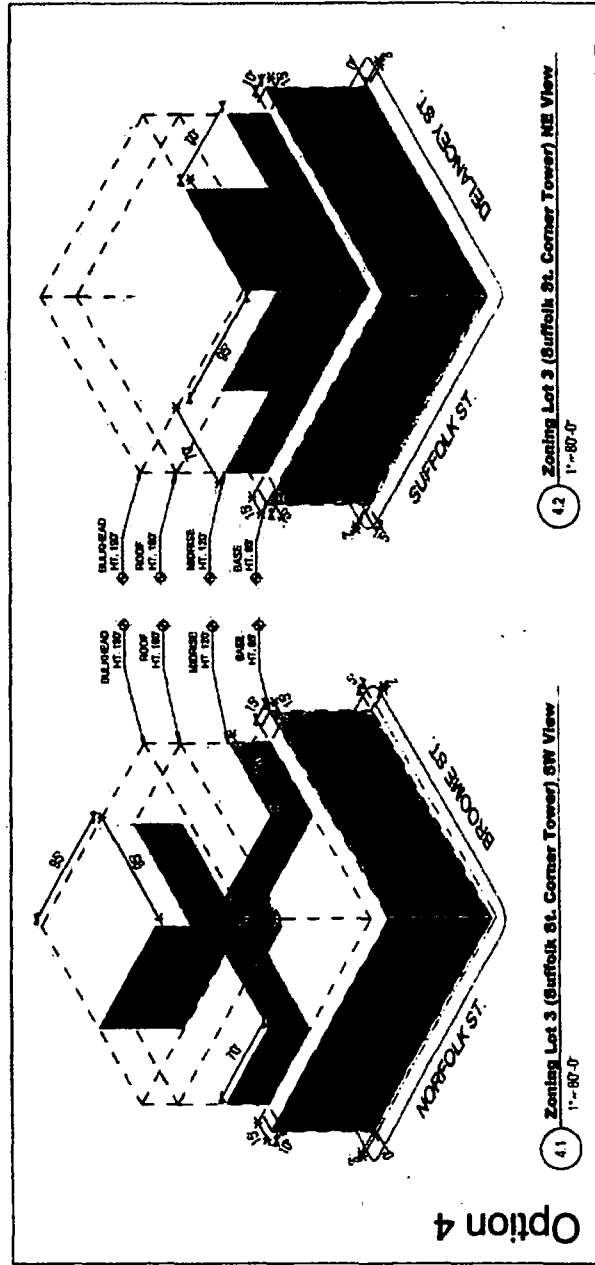
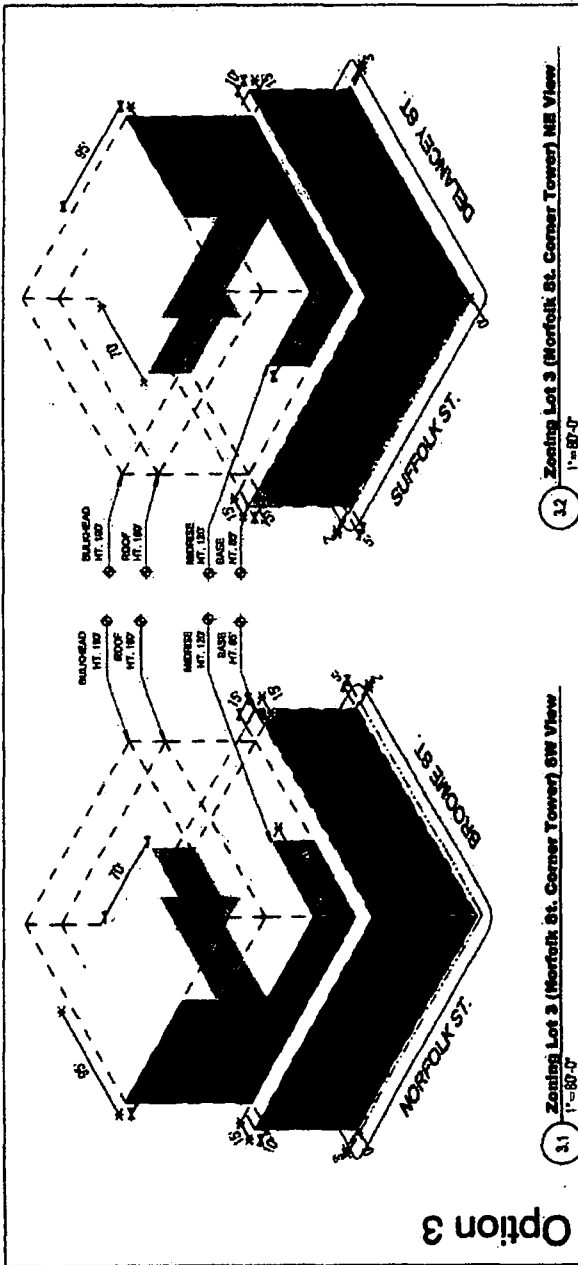
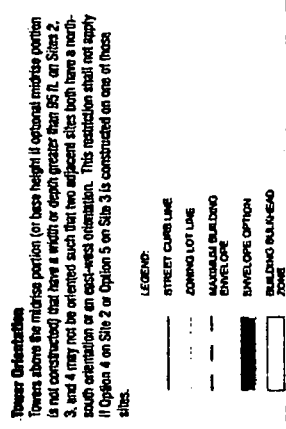
**BUILDING ENVELOPE  
DIAGRAMS**  
ZONING LOT 3

**303.2**



### DESIGN CONTROLS

- Scale, Height and Setback**  
Envelope heights are relative to the Base Plane (see Sheet 304A) or the Average Curb Level (see Sheet 304B).
- The base or equivalent portions of Site 3 will have a minimum height of 60' and a maximum height of 85'.
  - The midrise portions of all buildings developed pursuant to the approved Large-Scale General Development will have a maximum height of 120'.
  - For Zoning Lot 3, Options 3 and 4, the envelope option volume indicates the maximum extent of the base, midrise, and tower portions of the building. The tower portion of the building may be located anywhere above the building base within the respective envelope options shown. In both options, the tower will be limited to a maximum height of 85' and a maximum width of 95'.
  - Elevator or stair shafts (including shafts and vestibules not larger than 60 square feet in area providing access to a roof), roof water tanks and accessory mechanical equipment (including enduses), other than solar or wind energy systems, shall be permitted to exceed the maximum building (roof) heights approved in the LSESD, up to a maximum building height of 30 feet, provided that:
    - such obstructions shall be located not less than 10 feet from the street wall of a building, except that such obstructions need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevator or stair shafts (including shafts or vestibules), provided the aggregate width of street walls of such shafts within 10 feet of a street wall, facing each street frontage, times their average height, in feet, does not exceed an area equal to four times the width, in feet, of the street wall of the building facing such shaftage.
    - all mechanical equipment shall be screened on all sides.
  - Each obstructions and screening are contained within a volume that complies with one of the following:
    - the product, in square feet, of the aggregate width of street walls of such obstructions facing each street frontage, times their average height, shall not exceed an area equal to eight times the width, in feet, of the street wall of the building facing such shaftage; or
    - 20 percent of the lot coverage of the building.



# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP

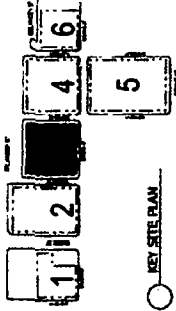
41 West 43 Street  
New York, NY 10018  
212 677 1000

New York City Planning  
Department  
100 Nassau Street  
New York, NY 10038  
212 625 1200

New York City Department of Planning  
100 Nassau Street  
New York, NY 10038  
212 625 1200

State of New York  
Department of Planning  
120 State Street  
Albany, NY 12242  
518 474 2000

State of New York  
Department of Planning  
120 State Street  
Albany, NY 12242  
518 474 2000



## DESIGN CONTROLS

### Scale, Height and Setbacks

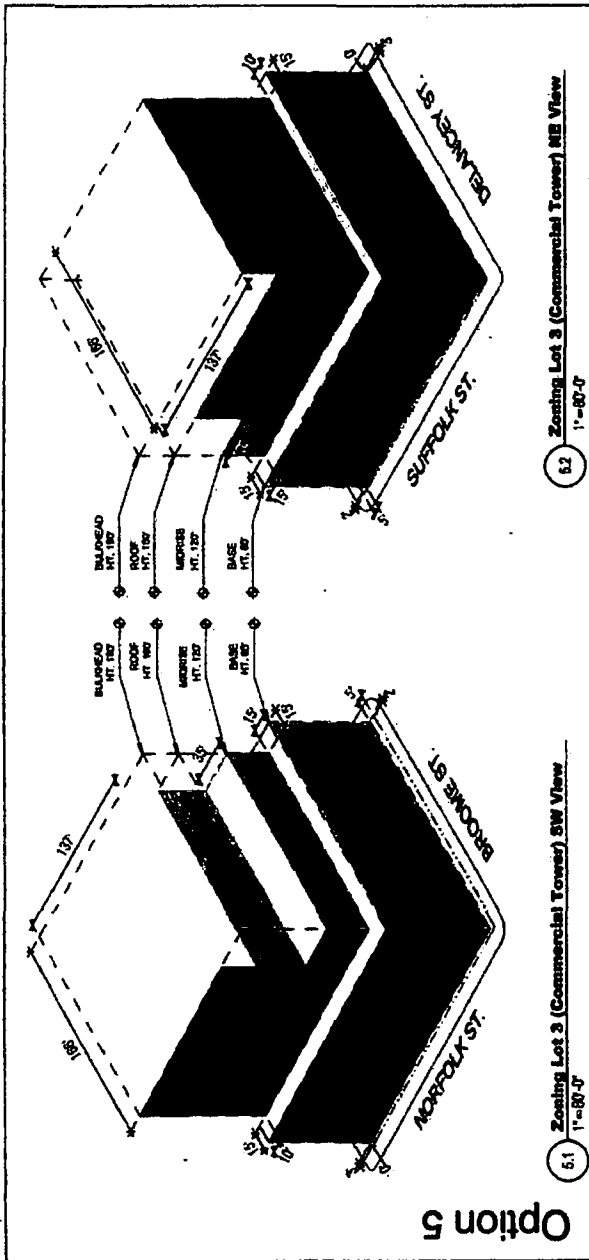
- Envelope heights are relative to the Average Curb Level (see Sheet 304H).
- The base or setback portions of Site 3 will have a minimum height of 60' and a maximum height of 85'.
- The midrise portions of all buildings developed pursuant to the approved Large-Scale General Development will have a maximum height of 120'.
- For Zoning Lot 3, Option 3, the envelope option volume indicates the maximum extent of the base, midrise and tower portions of a building with only non-residential uses in the tower.

Envelope or stair buildings (including shafts, and vestibules) not larger than 60 square feet in area providing access to a roof, roof water tanks and necessary mechanical equipment (including enclosures), other than solar or wind energy systems, shall be permitted to exceed the maximum building (roof) heights approved in the LSEB, up to a maximum building height of 30 feet, provided that:

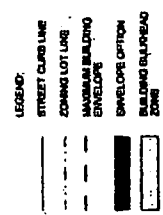
- such obstructions shall be located not less than 10 feet from the street wall of a building, except that such obstructions need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevator or stair buildings (including shafts or vestibules), provided the aggregate width of street walls of such buildings within 10 feet of a street wall, facing each street frontage, times their average height, in feet, does not exceed an area equal to five times the width, in feet, of the street wall of the building facing such frontage;
- all mechanical equipment shall be screened on all sides that complies with one of the following:
  - the product, in square feet, of the aggregate width of street walls of such obstructions facing each street frontage, times their average height, shall not exceed an area equal to eight times the width, in feet, of the street wall of the building facing such frontage; or
  - the lot coverage of all such obstructions does not exceed 20 percent of the lot coverage of the building.

### Tower Obstructions

Towers above the midrise portion (or base height if optional midrise portion is not constructed) that have a width or depth greater than 95 ft. on Sites 2, 3, and 4 may not be oriented such that two adjacent sides both have a north-south orientation or an east-west orientation. This restriction shall not apply if Option 4 on Site 2 or Option 5 on Site 3 is constructed on one of those sites.



5.1 Zoning Lot 3 (Commercial Tower) SW View  
1"=80'-0"



5.2 Zoning Lot 3 (Commercial Tower) NE View  
1"=80'-0"



PROJECT NO.	100-100-00000
DATE	21 MARCH 2013
PROJECT NO.	2103 IN
DATE	2103 IN

303.3

# Seward Park

## Mixed-Use Development Project

**Beyer  
Blunder  
Belle**

Architects & Planners LLP

41 West 41st Avenue  
New York, NY 10018  
212.317.1700

New York City Department of Planning  
150 West Street  
New York, NY 10038  
212.312.3200

New York City Department of Buildings  
130 West Street  
New York, NY 10038  
212.312.3200

LEED Certification  
Green Design  
New York, NY 10038  
212.312.3200

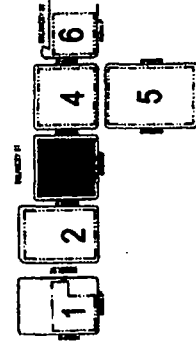
LEED Certification  
Green Design  
New York, NY 10038  
212.312.3200

**BASE PLANE CALCULATION (CR12-10):**  
 BASE PLANE = A.C.L. ELEVATION + LOT COVERAGE / ZONING LOT AREA %  
 CORNER LOT 3.1:  $29.07' + (0.021 \text{ SF} / 35,944 \text{ SF}) = 7.27'$   
 CORNER LOT 3.2:  $29.07' + (0.257 \text{ SF} / 35,944 \text{ SF}) = 7.28'$   
 CORNER LOT 3.3:  $29.07' + (0.619 \text{ SF} / 35,944 \text{ SF}) = 6.07'$   
 CORNER LOT 3.4:  $29.07' + (0.488 \text{ SF} / 35,944 \text{ SF}) = 7.07'$   
 THROUGH LOT 3:  $29.06' + (417 \text{ SF} / 35,944 \text{ SF}) = 0.54'$   
 INTERIOR LOT 3.1:  $29.77' + (71 \text{ SF} / 35,944 \text{ SF}) = 0.09'$   
 INTERIOR LOT 3.2:  $29.77' + (71 \text{ SF} / 35,944 \text{ SF}) = 0.09'$

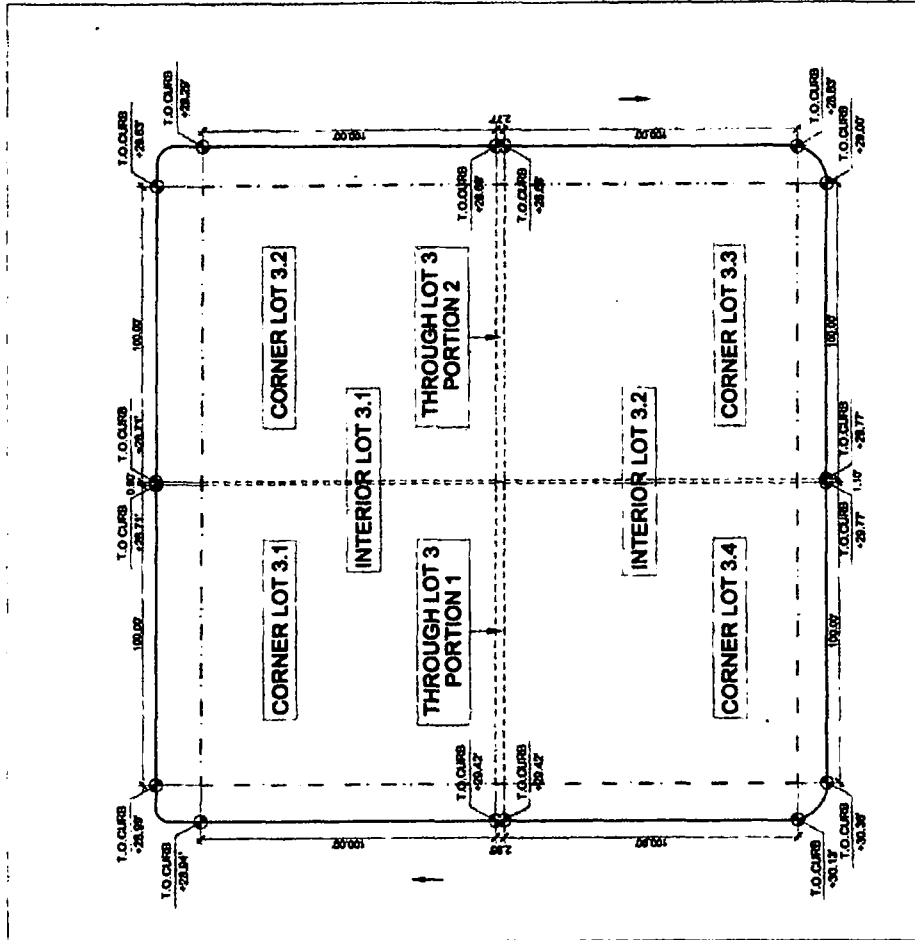
**SITE 3 BASE PLANE: 29.13'**

### LEGEND

- STREET CURB LINE
- - - ZONING LOT LINE
- - - ZONING LOT DIVISION LINES



KEY SITE PLAN



Drawing based on topographic survey prepared by Control Point Associates, Inc. dated July 8, 2011. All dimensions to be verified in the field.

**BASE PLANE DIAGRAM  
ZONING LOT 3**

DATE: 5-14-2013  
 PROJECT NO.: 312001033  
 DRAWING NO.: 312013.03

**304M**



PROJECT NO. 312013.03  
 DATE: 5-14-2013  
 DRAWING NO.: 312013.03  
 PROJECT NAME: SEWARD PARK  
 PROJECT TYPE: MIXED-USE DEVELOPMENT

# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
41 East 51 Street  
New York, NY 10022  
212-771-7000

New York City Department of City Planning  
100 West Street  
New York, NY 10038  
212-650-3800

New York City Department of Transportation  
120 West Street  
New York, NY 10038  
212-312-3000

Local Consultant:  
New York City Department of City Planning  
100 West Street  
New York, NY 10038  
212-650-3800

NO. SHEETS	DATE	DESCRIPTION



PROJECT NO. 151717  
DATE: 01/21/11  
DRAWN BY: RJB  
CHECKED BY: [Signature]  
SCALE: AS SHOWN  
SHEET NO. 23 OF 23  
SHEET TITLE: AVERAGE CURB LEVEL

**AVERAGE CURB LEVEL  
ZONING LOT 3**

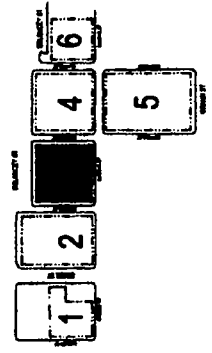
DATE: 01-20-11  
BY: RJB  
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SHEET NO. 23 OF 23

# 304N

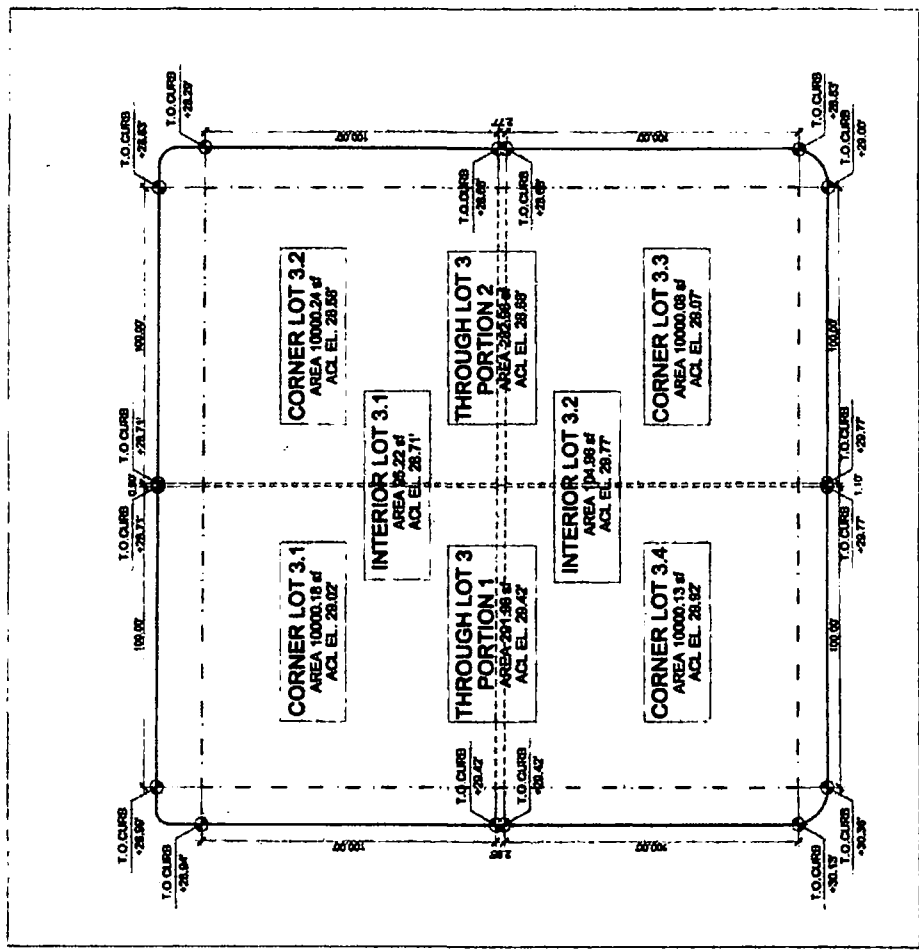
**AVERAGE CURB LEVEL (2012-10):**  
ACL EL. - FT. O. CURB 1: T.O. CURB 31.7

**SITE 3 A.C.L. CALCULATIONS:**  
CORNER LOT 3.1:  $(28.09 \times 28.77) / 2 + (28.09 \times 28.47) / 2 / 2 = 28.32$   
CORNER LOT 3.2:  $(28.71 \times 28.67) / 2 + (28.71 \times 28.69) / 2 / 2 = 28.59$   
CORNER LOT 3.3:  $(28.69 \times 28.87) / 2 + (28.69 \times 28.77) / 2 / 2 = 28.67$   
CORNER LOT 3.4:  $(28.77 \times 28.87) / 2 + (28.77 \times 28.47) / 2 / 2 = 28.57$   
THROUGH LOT 3.1:  $(28.47 \times 28.47) / 2 = 28.47$   
THROUGH LOT 3.2:  $(28.69 \times 28.69) / 2 = 28.69$   
INTERIOR LOT 3.1:  $(28.71 \times 28.71) / 2 = 28.71$   
INTERIOR LOT 3.2:  $(28.77 \times 28.77) / 2 = 28.77$

**LEGEND**  
— STREET CURB LINE  
- - - ZONING LOT LINE  
- - - ZONING LOT DIVISION LINES



KEY SITE PLAN



Drawing based on topographic survey prepared by Central Peer Associates, Inc., dated July 8, 2011. All dimensions to be verified in the field.

# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architect & Planners LLP  
41 West 43rd Street  
New York, NY 10018  
Tel: 212 771 7000  
Fax: 212 771 7001

Professional Engineer  
New York State Department of State  
212 West 43rd Street  
New York, NY 10018  
Tel: 212 771 7000  
Fax: 212 771 7001

Professional Engineer  
New York State Department of State  
212 West 43rd Street  
New York, NY 10018  
Tel: 212 771 7000  
Fax: 212 771 7001

No.	Date	Description



PROJECT NO. 17-117  
 PREPARED BY: [Signature]  
 DATE: 08/08/2011  
 ZONING ACTIONS PLAN  
 (MIXED-USE)  
 ZONING LOT 3  
 SCALE: 1" = 40'-0"  
 SHEET NO. 31  
 TOTAL SHEETS: 31

**305M**

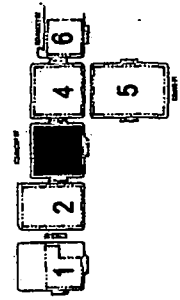
### ZONING REQUIREMENTS:

- MAX. BASE HEIGHT (Z005-24): PERMITTED: 80 FT. ABOVE BASE PLANE ALONG NARROW STREETS; 18 FT. ABOVE BASE PLANE WITHIN 10 FT. OF NARROW STREET; PROPOSED: 18 FT. ABOVE BASE PLANE ALONG ALL STREETS
- MIN. SETBACK FROM STREET WALL (Z005-24): REQUIRED: 10 FT. ALONG WIDE STREETS; 18 FT. ALONG NARROW STREETS; PROPOSED: 10 FT. ALONG WIDE STREETS; 18 FT. ALONG NARROW STREETS
- MAX. BUILDING HEIGHT (Z005-24): PERMITTED: 100 FT. ABOVE BASE PLANE ALONG NARROW STREETS; 100 FT. ABOVE BASE PLANE WITHIN 100 FT. OF A WIDE STREET; PROPOSED: 100 FT. (100 FT. INCL. BUILDING)

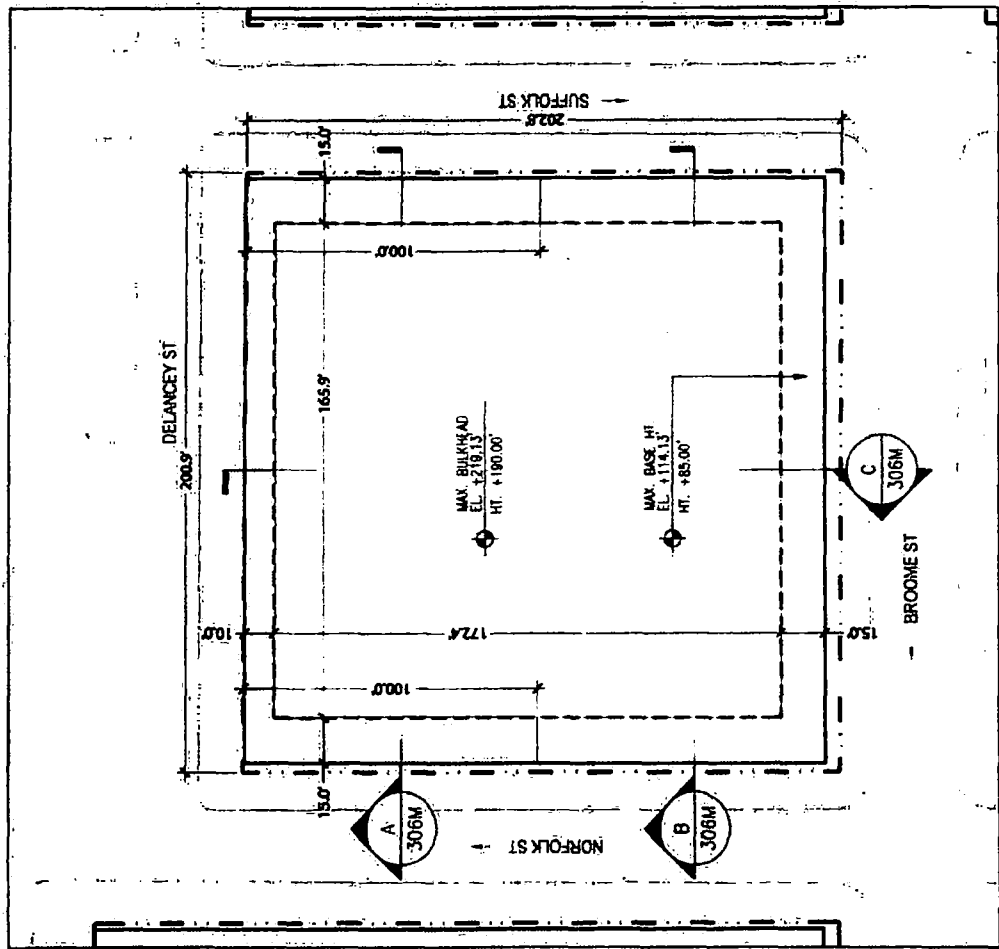
### LEGEND

- STREET CURBLINE
- ZONING LOT LINES
- MAXIMUM BLDG. ENVELOPE
- MAXIMUM TOWER & CROSS ENVELOPE
- NON-COMPLIANT HEIGHT AND SETBACK AREA OF MAXIMUM BUILDING ENVELOPE TO BE MARKED UNDER EXISTING SURFACE

ALL ENVELOPE HEIGHTS ABOVE BASE PLANE



KEY SITE PLAN



Drawing based on topographic survey prepared by Central Park Associates, Inc., dated July 8, 2011. Adjacent building outlines are shown for reference purposes only.

1 ZONING ACTIONS PLAN: ZONING LOT 3  
 Scale: 1" = 40'-0"



# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architect & Planning LP  
41 East 65 Street  
New York, NY 10022  
212.779.8000

New York City Department of Buildings  
115 West 42nd Street  
New York, NY 10018  
212.312.3300

Professional Seal and Stamp  
No. 13648  
Exp. 12/31/2011

100 West Street  
New York, NY 10038  
212.261.8000

100 West Street  
New York, NY 10038  
212.261.8000

100 West Street  
New York, NY 10038  
212.261.8000

100 West Street  
New York, NY 10038  
212.261.8000

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New York, NY 10038  
212.261.8000

100 West Street  
New York, NY 10038  
212.261.8000

100 West Street  
New York, NY 10038  
212.261.8000



PROJECT SIZE: 11' x 11'  
DATE: 07/06/11  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: AS SHOWN

ZONING ACTIONS PLAN  
(NON-RESIDENTIAL)  
ZONING LOT 3

DATE: 07/06/11  
SCALE: AS SHOWN  
PROJECT NO.: 305N

**305N**

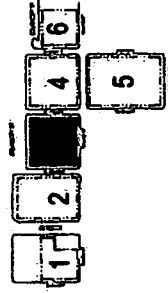
### ZONING REQUIREMENTS:

- MAX. BASE HEIGHT (Z333-431): PERMITTED: LESSER OF 6 STORES OR 85 FT. ABOVE AVERAGE CURB LEVEL. PROPOSED: 85 FT. ABOVE AVERAGE CURB LEVEL.
- NON-ORIGINAL SETBACK DISTANCE (Z333-431): REQUIRED: 15 FT. FROM STREET LINE ALONG WIDE STREETS. PROPOSED: 15 FT. FROM STREET LINE FROM MEDIUM STREETS.
- PROPOSED: 30 FT. FROM STREET LINE ALONG WIDE STREETS. 18 FT. FROM STREET LINE ALONG MEDIUM STREETS.
- SKY EXPOSURE PLANE (Z333-431): REQUIRED: 5.6 TO 1 ALONG WIDE STREETS. 3.7 TO 1 ALONG MEDIUM STREETS. PROPOSED: NONE.

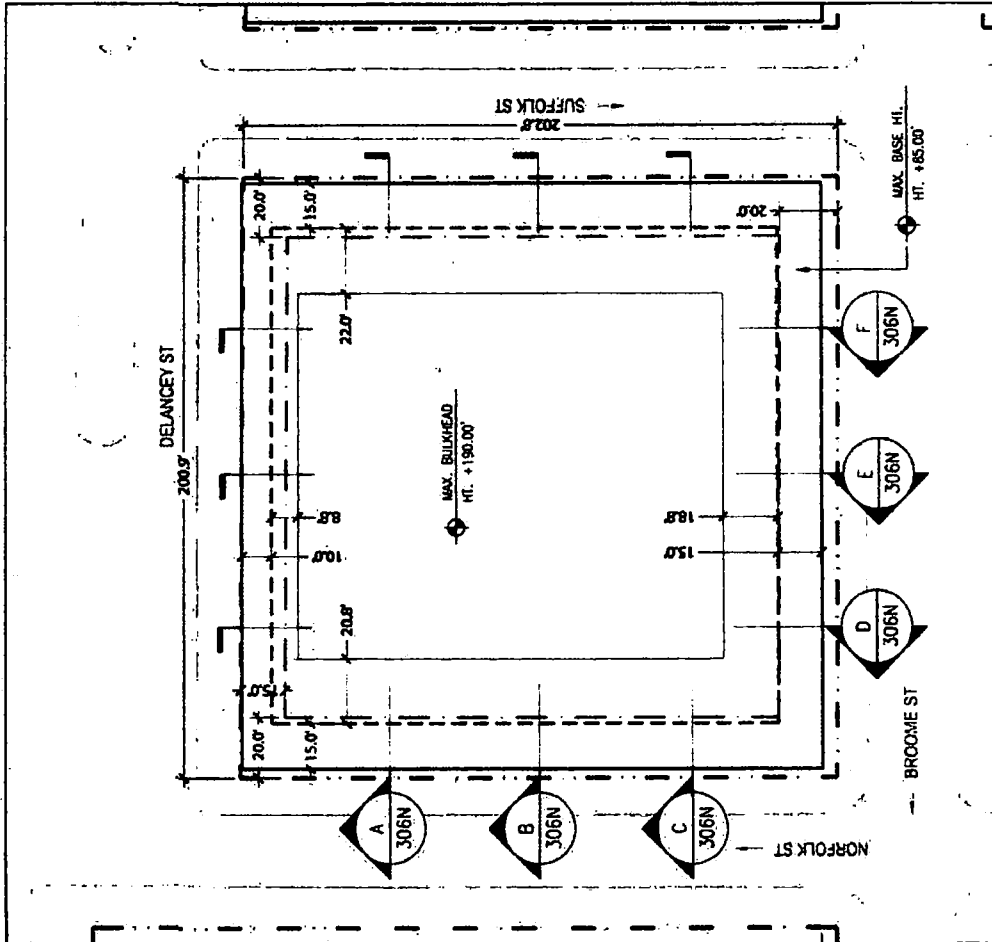
### LEGEND

- STREET CURB LINE
- ZONING LOT LINE
- MAXIMUM BUILDING ENVELOPE
- MAXIMUM TOWER & MANSARD ENVELOPE
- REQUIRED INITIAL SETBACK DISTANCE
- NON-COMPLIANT HEIGHT AND SETBACK AREA OF MAXIMUM BUILDING ENVELOPE TO BE WIPED UNDER SECTION 24-07-04

ALL ENVELOPE HEIGHTS ABOVE AVERAGE CURB LEVEL.



KEY SITE PLAN



Drawing based on topographic survey prepared by Central Point Associates, Inc., dated July 6, 2011. Adjacent building outlines are shown for reference purposes only.

1 ZONING ACTIONS PLAN, ZONING LOT 3  
Scale: 1" = 40'-0"

# Seward Park Mixed-Use Development Project

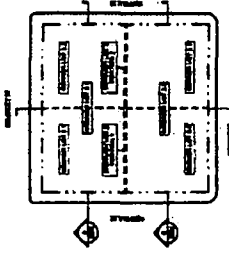
**Beyer  
Blinder  
Belie**

Architect & Planners LLP  
41 Canal St. Room 1200  
New York, NY 10014  
Tel: 212.717.1000

New York City Department of Planning  
120 Broadway  
New York, NY 10038  
Tel: 212.312.3200  
Fax: 212.312.3200  
New York City Department of Buildings  
60 West Street  
New York, NY 10038  
Tel: 212.312.3200  
Fax: 212.312.3200

**ZONING REGULATIONS FOR  
MIXED-USE BUILDINGS (ZUB-MU)**

- Proposed Zoning District: R3 with C2-6 overlay
- Min. Permitted Base Height: 60 FT
- Min. Permitted Base Height: 60 FT
- Min. Permitted Base Height: 60 FT (along Avenue Street)
- Min. Permitted Base Height: 60 FT (along 100 FT of 10th Street)
- Min. Permitted Base Height: 60 FT (along 100 FT of 10th Street)
- Min. Permitted Base Height: 60 FT (along 100 FT of 10th Street)
- Min. Permitted Base Height: 60 FT (along 100 FT of 10th Street)
- Min. Permitted Base Height: 60 FT (along 100 FT of 10th Street)
- Min. Permitted Base Height: 60 FT (along 100 FT of 10th Street)

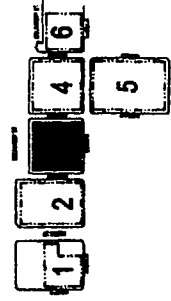


SECTION B  
BASE PLANE SECTION

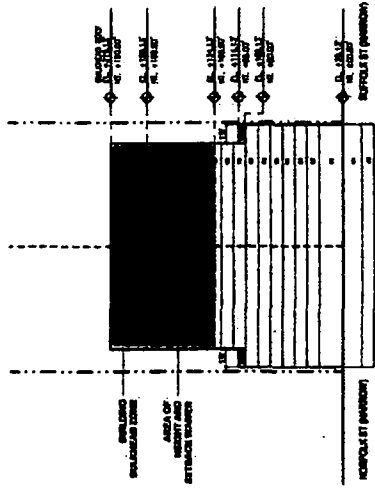
REFER TO SHEET 306M FOR BASE PLANE  
PROGRAM FOR ZONING LOT 3

**LEGEND**

- STREET CURB LINE
- ZONING LOT LINE
- MINIMUM PROPOSED BUILDING ENVELOPE
- MINIMUM PERMITTED BUILDING ENVELOPE
- COMPLIANT HEIGHT AND SETBACK AREA OF MINIMUM BUILDING ENVELOPE
- NON-COMPLIANT HEIGHT AND SETBACK AREA OF MINIMUM BUILDING ENVELOPE
- FLOOR FINISHES FOR SPECIALTY TRADES PURPOSES ONLY



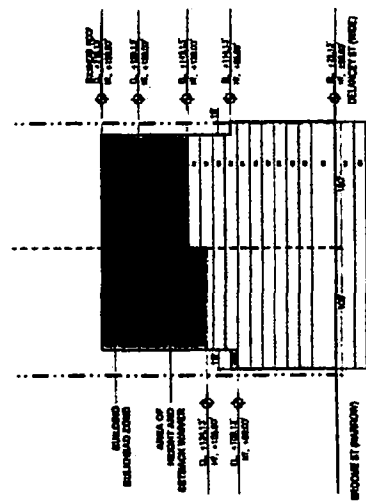
SECTION C  
KEY SITE PLAN



SECTION A  
FACE A



SECTION B  
FACE B



SECTION C  
FACE C

Drawings based on topographic survey prepared by Conrad  
Pace Associates, Inc., dated July 6, 2011.  
Vertical Elevations based on the Benchmark of Metropolitan Datum.



BEST COPY AVAILABLE  
DATE: 08/11/11  
BY: [Signature]  
FOR THE CLIENT: [Signature]  
PROJECT NO.: [Number]  
ZONING ACTIONS  
SECTIONS  
(MIXED-USE)  
ZONING LOT 3  
DATE: 08/11/11  
PAGE NO.: 306M

306M

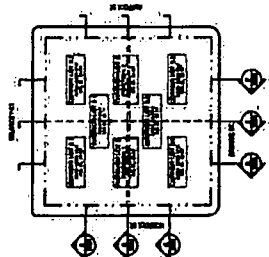
# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

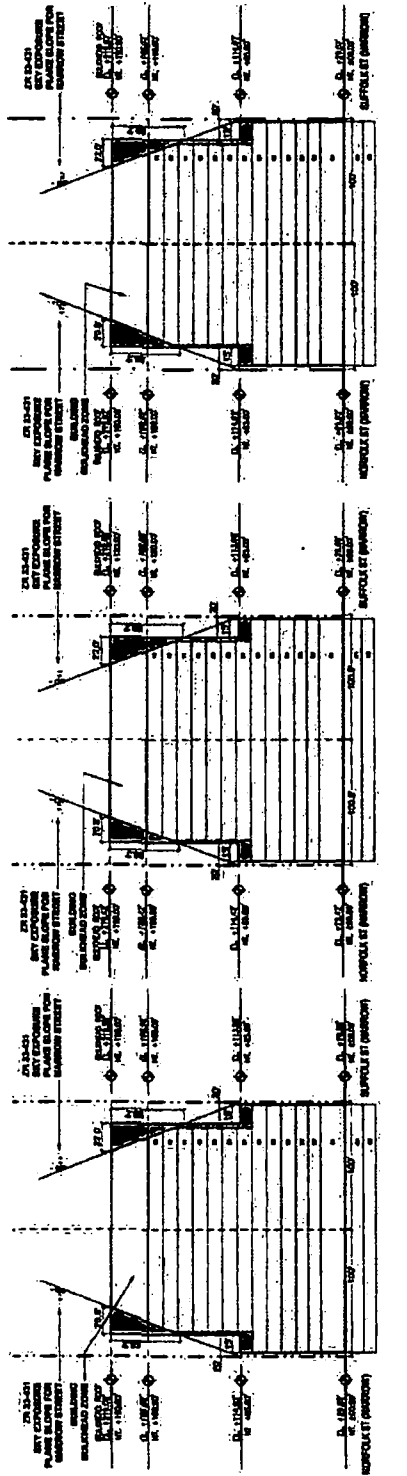
Architects & Planners LP

41 Canal St. New York, NY 10013  
Tel: 212.279.1000  
Fax: 212.279.1001  
www.bbblaw.com  
www.bbba.com  
www.bbblp.com  
www.bbblpa.com  
www.bbblpi.com  
www.bbblpj.com  
www.bbblpk.com  
www.bbblpl.com  
www.bbblpm.com  
www.bbblpn.com  
www.bbblpo.com  
www.bbblpp.com  
www.bbblps.com  
www.bbblpt.com  
www.bbblpu.com  
www.bbblpv.com  
www.bbblpw.com  
www.bbblpx.com  
www.bbblpy.com  
www.bbblpz.com

**ZONING REGULATIONS FOR  
NON-RESIDENTIAL BUILDINGS (2009-431)**  
Proposed Zoning District: R9 with C20 overlay  
Min. Permitted Base Height: 45 FT., or 6 stories,  
whichever is less.  
Roofing: See Corporate Policy  
Setback: 27 to 1' (on Avenue Street)  
5.8 to 1' (on Side Street)  
Min. Inset Subgrade Clearance:  
30 FT. (along Avenue Street)  
18 FT. (along Side Street)



Drawings based on topographic survey prepared by David  
Paul Associates, Inc., dated July 8, 2011.  
Vertical Elevations based on the Benchmark Datum.

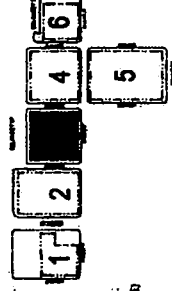


REFER TO SHEET 306N FOR AVERAGE CURB  
LEVEL DIMENSIONS FOR ZONING LOT 3

**LEGEND**  
STREET CURB LINE  
ZONING LOT BOUNDARY  
MINIMUM PERMITTED BUILDING DEVELOPMENT  
MAXIMUM PERMITTED BUILDING DEVELOPMENT  
CONTRACTOR NECESSARY AND CONTRACTOR  
OF RECORD BUILDING FOOTPRINT  
AREA OF MAINTENANCE AND LAND SETBACK  
TO BE MAINTAINED UNDER EXISTING  
PLANS SUBJECT TO  
APPROPRIATELY APPROVED ONLY



**ZONING ACTIONS  
SECTIONS  
(NON-RESIDENTIAL)  
ZONING LOT 3**



SEE SITE PLAN

SECTION 1  
10/11/12

SECTION 2  
10/11/12

SECTION 3  
10/11/12

SECTION 4  
10/11/12

**306N**

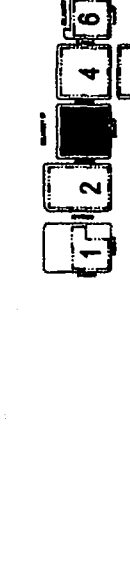
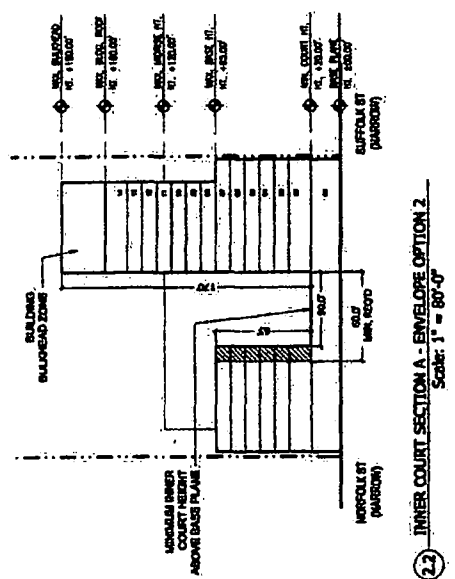
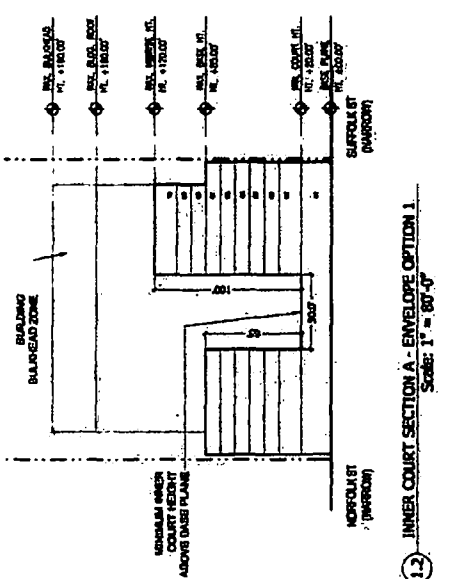
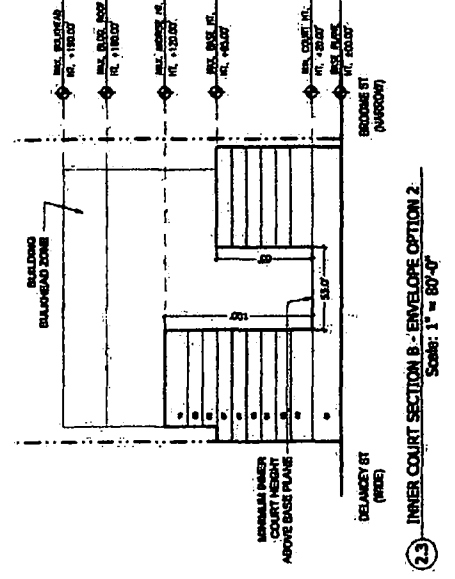
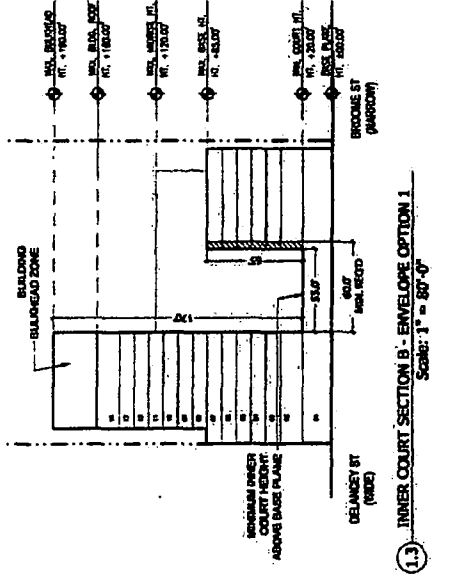
# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**  
Architects & Planners LLP  
43 West 11 Street  
New York, NY 10011  
Tel: 212-771-7200  
Fax: 212-771-7201  
www.bbb-ny.com  
New York City Registration No. 110048  
Professional Engineers  
Professional Architects  
Professional Planners  
Professional Landscape Architects  
Professional Interiors Designers  
Professional Urban Designers  
Professional Environmental Planners  
Professional Urban Designers  
Professional Historic Preservationists  
Professional Environmental Scientists  
Professional Environmental Engineers  
Professional Environmental Planners  
Professional Environmental Designers  
Professional Environmental Architects



PROJECT NO. 17-117  
DATE: 07/2017  
SCALE: AS SHOWN  
NOT FOR CONSTRUCTION - DESIGN FOR ILLUSTRATION  
Drawing No.

INNER COURT DIAGRAMS  
ZONING LOT 3  
L-1  
S-1  
S-2  
S-3  
S-4  
S-5  
S-6



**LEGEND**  
 Hatched area: BUILDING HEAD ZONE  
 Solid line: MINIMUM INNER COURT HEIGHT ABOVE BASE PLANE  
 Dashed line: MAXIMUM INNER COURT HEIGHT ABOVE BASE PLANE  
 Dotted line: MINIMUM SETBACK FROM STREET TO BUILDING HEAD ZONE  
 Solid line with arrows: MINIMUM SETBACK FROM STREET TO BUILDING HEAD ZONE (SEE PLAN)

**ZONING REQUIREMENTS:**  
 ALL SECTION HEIGHTS IN THESE COURTS OR IS AS REQUIRED BY THE CITY OF CHICAGO SHALL NOT TO EXCEED 60 FT. PROPOSED: 80 FT. AND 88 FT. AS NOTED ON DIMES.

**LEGEND**  
 Hatched area: BUILDING HEAD ZONE  
 Solid line: MINIMUM INNER COURT HEIGHT ABOVE BASE PLANE  
 Dashed line: MAXIMUM INNER COURT HEIGHT ABOVE BASE PLANE  
 Dotted line: MINIMUM SETBACK FROM STREET TO BUILDING HEAD ZONE  
 Solid line with arrows: MINIMUM SETBACK FROM STREET TO BUILDING HEAD ZONE (SEE PLAN)

**ZONING REQUIREMENTS:**  
 ALL SECTION HEIGHTS IN THESE COURTS OR IS AS REQUIRED BY THE CITY OF CHICAGO SHALL NOT TO EXCEED 60 FT. PROPOSED: 80 FT. AND 88 FT. AS NOTED ON DIMES.

Drawings based on topographic survey prepared by Coastal Point Associates, Inc. dated July 8, 2011. Elevation dimensions are relative to Average Curb Level or Base Plane. All dimensions to be verified in the field.

**Seward Park  
Mixed-Use  
Development  
Project**

**Reyer  
Blumler  
Belle**

Architect & Planner LLP  
11 East 14 Street  
New York, NY 10003  
TEL: (212) 692-8000  
www.reyerblumlerbelle.com

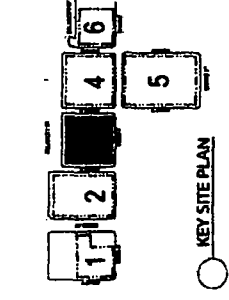
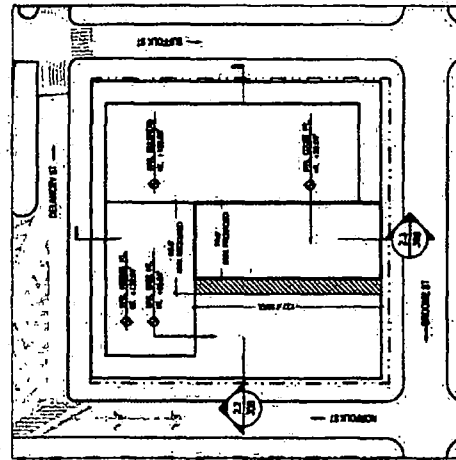
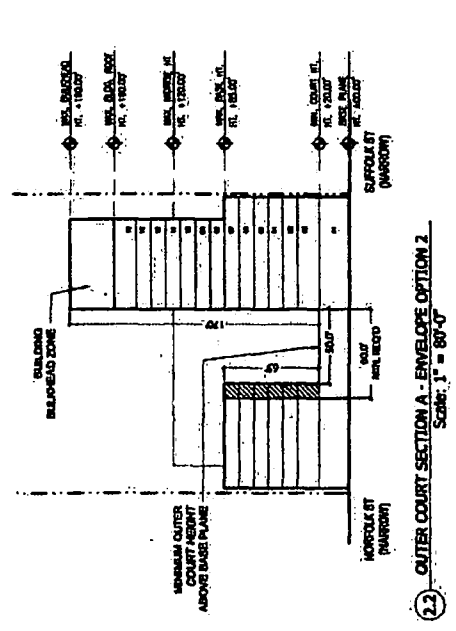
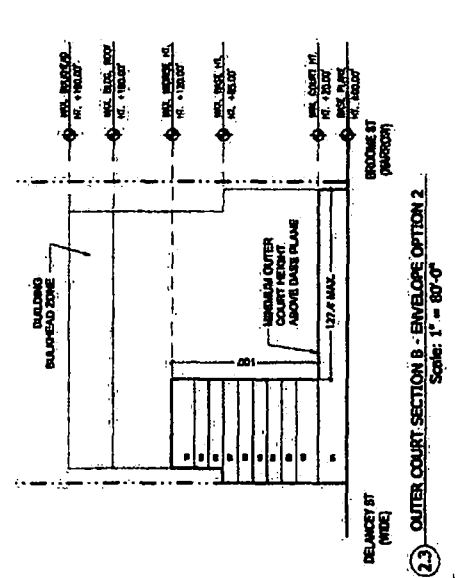
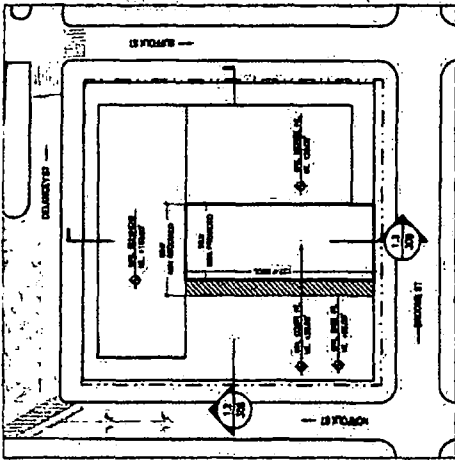
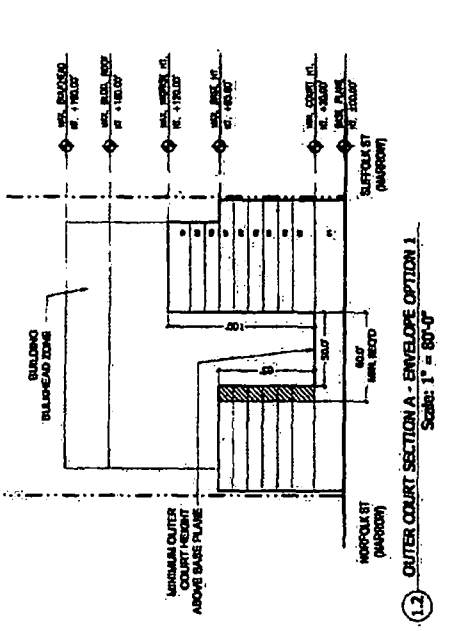
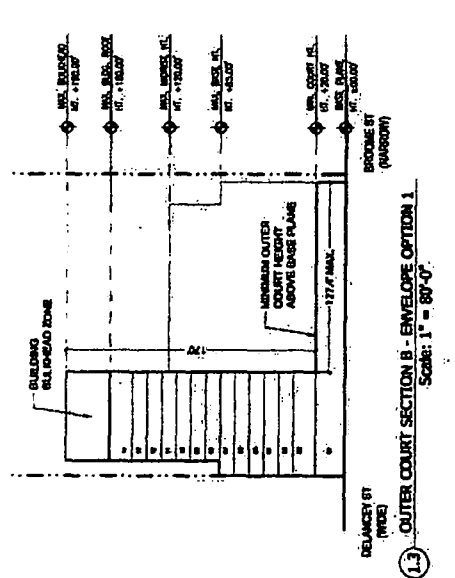
Site Plan by: [Signature]  
Date: 08/20/18



NO. 021828388  
DATE: 08/20/18  
STATE OF NEW YORK  
EXPIRES: 08/20/20

**OUTER COURT DIAGRAMS  
ZONING LOT 3**

**308**



**LEGEND**

SECTION DIMENSIONS:  
SECTION WIDTH: DIMENSION FROM 0' TO MAXIMUM BUILDING HEIGHT  
SECTION HEIGHT: DIMENSION FROM 0' TO MAXIMUM BUILDING HEIGHT  
SECTION AREA: DIMENSION FROM 0' TO MAXIMUM BUILDING HEIGHT

**PLAN DIMENSIONS:**  
OUTER COURT ENVELOPE OPTION 1  
OUTER COURT ENVELOPE OPTION 2  
STREET CURB LINE

**ZONING REQUIREMENTS:**  
MIN. HEIGHT OF OUTER COURT ENVELOPE OPTION 1: 15 FT. TO CURB, 10 FT. TO CEILING AND 10 FEET TO CEILING, 80 FT. PROPOSED, 80 FT.  
MIN. HEIGHT OF OUTER COURT ENVELOPE OPTION 2: 15 FT. TO CURB, 10 FT. TO CEILING AND 10 FEET TO CEILING, 80 FT. PROPOSED, 80 FT.

Drawings based on topographic survey prepared by Control Point Associates, Inc. dated July 6, 2011. Elevation dimensions are relative to Average Curb Level or Base Plane. All dimensions to be verified in the field.

# Seward Park

## Mixed-Use Development Project

**Beyer Blinder Belle**

Architects & Planners LP

41 Canal St., 15th Floor  
New York, NY 10014  
Tel: 212 317 7300

Project Name: Seward Park  
Project Address: 196.3' Street Wall  
Project City: New York, NY  
Project State: NY  
Project Zip: 10014

Client: Seward Park  
Client Address: 196.3' Street Wall  
Client City: New York, NY  
Client State: NY  
Client Zip: 10014

Scale: 1/8" = 1'-0"  
Date: 08/11/11



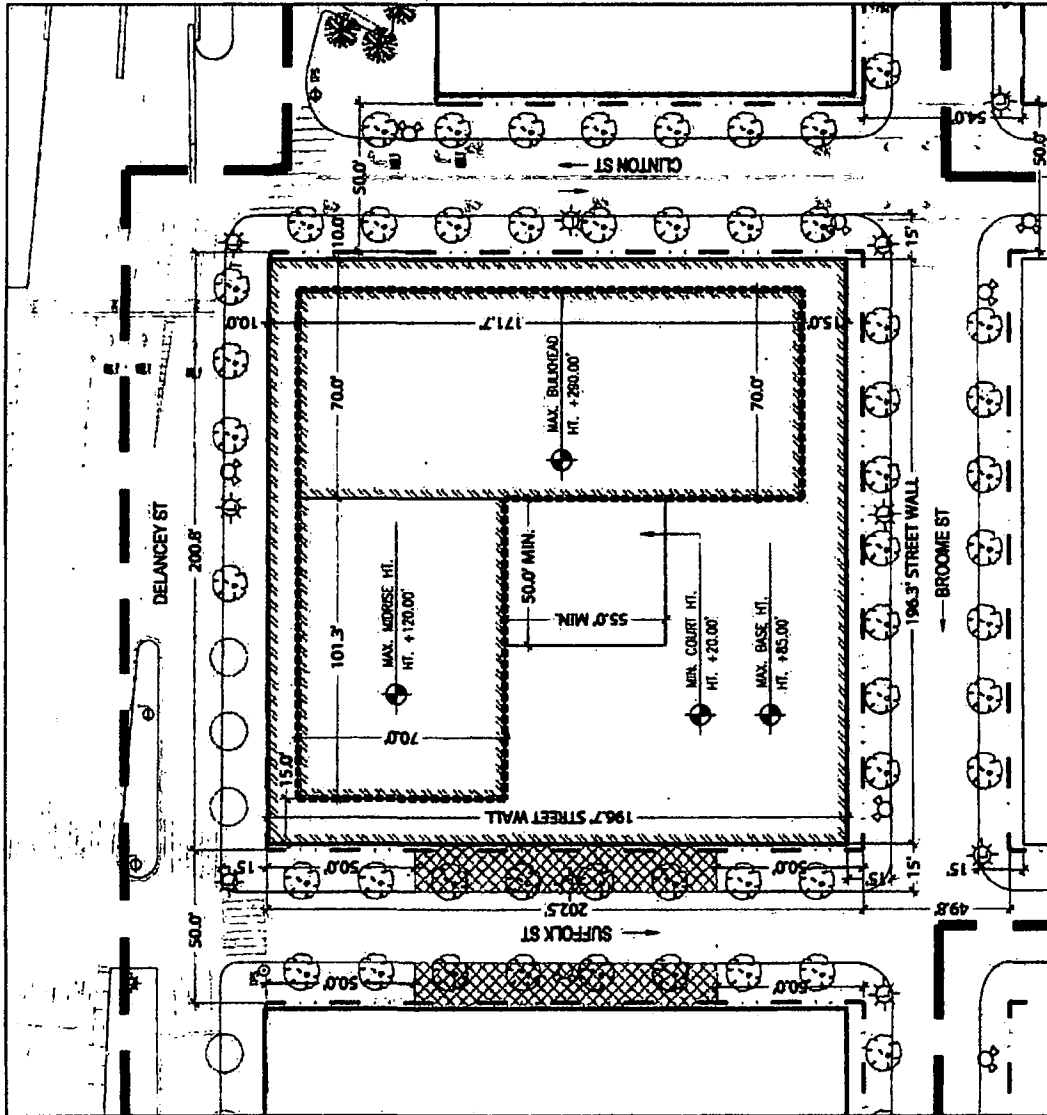
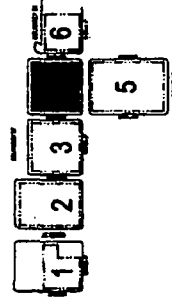
PROPOSED SITE PLAN  
ZONING LOT 4  
1" = 40' 0"  
25' BUFFER ZONE  
FEBRUARY 2011

PROPOSED SITE PLAN  
ZONING LOT 4  
1" = 40' 0"  
25' BUFFER ZONE  
FEBRUARY 2011

401

### LEGEND

- BEWARD PARK LARGE SCALE GENERAL DEVELOPMENT BOUNDARY
- STREET CURB LINE
- TAX LOT LINE
- MAXIMUM BASE ENVELOPE AND ILLUSTRATIVE STREET WALL LINE
- MAXIMUM ENVELOPE: TOWER AND MIDRISE ZONE
- MAXIMUM ENVELOPE: OPTION 1 (SEE BUILDING ENVELOPE DIAGRAMS)
- EXISTING STREET TREE
- PROPOSED STREET TREE
- REQUIRED STREET TREES OVER EXISTING SUBTERRANEAN SPACE
- EXISTING FIRE HYDRANT
- EXISTING METAL STREET LIGHT
- EXISTING TRAFFIC SIGNAL
- EXISTING TELEPHONE POLE
- EXISTING WOOD UTILITY POLE
- EXISTING WOOD POLE WITH TRAFFIC SIGNAL
- CURB CUT ZONE (PARKING & LOADING ZONE AT STREET LEVEL WHERE BOTH GARAGE AND LOADING ENTRANCES ARE PERMITTED)



Drawing based on topographic survey prepared by Control Point Associates, Inc. dated July 8, 2011. All ground building features are shown for reference purposes only.

### SITE PLAN NOTES:

1. Envelope Option 1 shown as established in corresponding "Building Envelope" drawing 403.1. Actual building massing subject to design controls (as indicated on drawings 403.1 and 403.2).
2. Envelope heights are relative to the Base Plane.
3. Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZR 28-41.
4. The exact location of any court is subject to change.

# Seward Park

## Mixed-Use Development Project

**Reyer  
Blinder  
Belle**

Address: 8 Pennell LP  
45 West 11th Street  
New York, NY 10011  
Tel: 212 371 1200

PROJECT NO.	882773
DATE	10/20/07
PROJECT NAME	REYER BLINDER BELLE
PROJECT ADDRESS	8 PENNELL LP
PROJECT CITY	NEW YORK, NY
PROJECT STATE	NY
PROJECT ZIP	10011



DATE: 10/20/07  
BY: [Signature]  
FOR: [Signature]  
PROJECT: 8 PENNELL LP  
ADDRESS: 8 PENNELL LP  
CITY: NEW YORK, NY  
STATE: NY  
ZIP: 10011

GROUND FLOOR PLAN  
ZONING LOT 4  
S1 - 200' X 200'  
S1 - 200' X 200'  
S1 - 200' X 200'

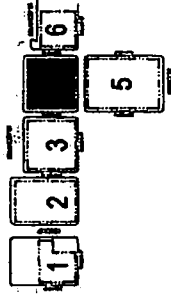
402

### LEGEND

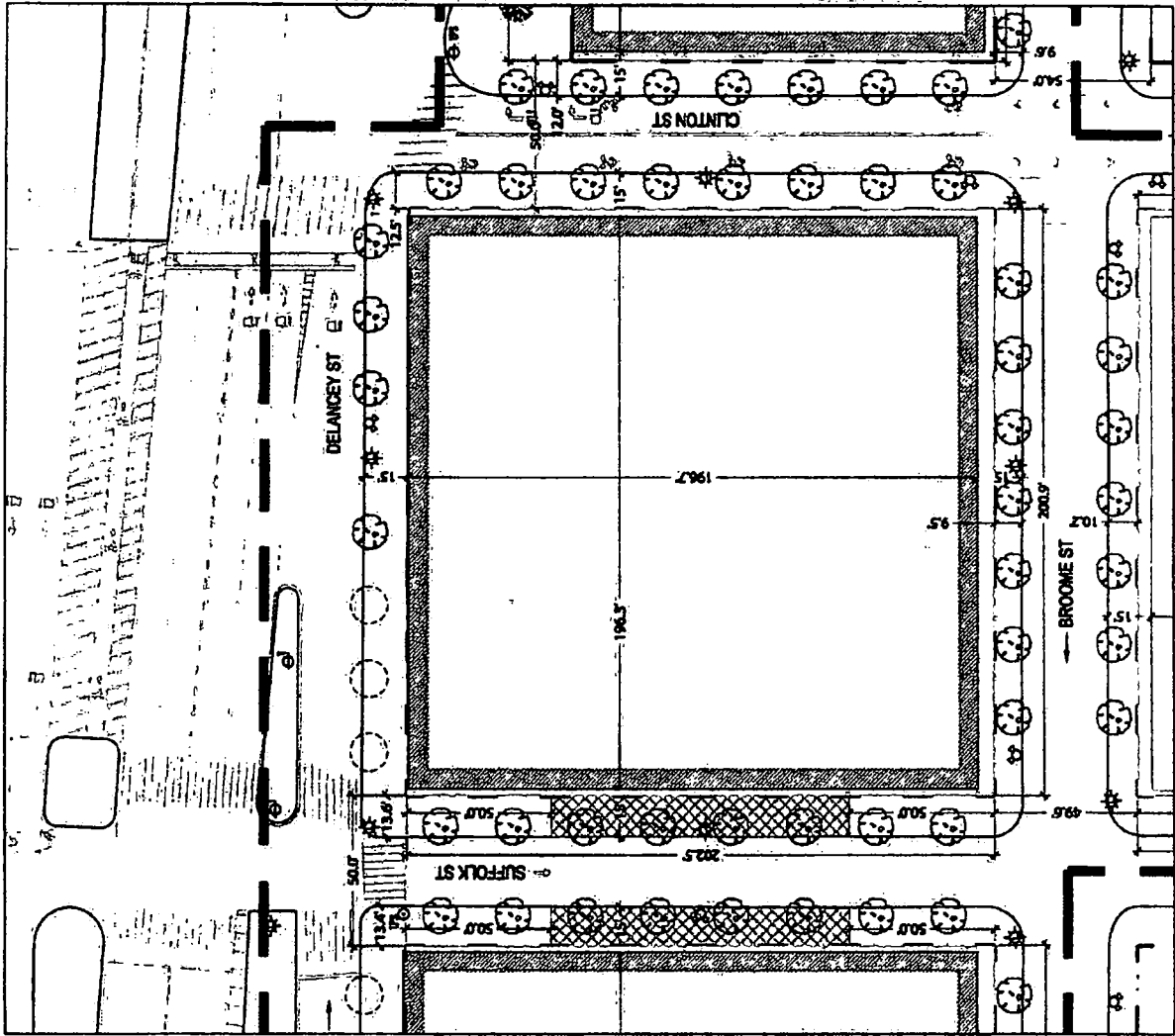
- SEWARD PARK LARGE SCALE GENERAL DEVELOPMENT BOUNDARY
- STREET CURB LINE
- TAX LOT LINE
- ILLUSTRATIVE STREET WALL LINE
- EXISTING STREET TREE
- PROPOSED STREET TREE
- SCULPTED STREET TREE OVER EXISTING SUPERSTREAN SPACE
- EXISTING FIRE HYDRANT
- EXISTING METAL STREET LIGHT
- EXISTING TRAFFIC SIGNAL
- EXISTING TELEPHONE POLE
- EXISTING WOOD UTILITY POLE
- EXISTING WOOD POLE WITH TRAFFIC SIGNAL
- PUBLICLY-ACCESSIBLE SIDEWALK WIDENING AREA
- GROUND FLOOR FRONTAGE ZONE
- CURB CUT ZONE (ENCLOSED AREA AT STREET LEVEL, WHERE DRIVE CURBLINE AND SIDEWALKS MEET) (SEE PLAN)

### GROUND FLOOR NOTES:

- Ground Floor Frontage**
- Building facades will maintain 50% transparency at ground level at elevations ranging from 2 feet to 12 feet above curb level.
  - A minimum of two stairwells are required on the ground floor of Delancey Street and a minimum of three stairwells are required on the ground floor of Broome Street. The following exception may be made:
    - If a public market or grocery store were located on the ground floor of the building on Site 4, the minimum stairwell requirements would not apply.
  - Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZNY 28-41.
- Stairwells**
- Stairwells will be provided at a minimum width of 18".
- Parking and Loading**
- The LDCO approval establish a maximum limit of 600 parking spaces.
  - With regard to curb cut locations, curb cuts for parking garage access and/or required loading berths may be shown within the zone shown on the Site Plan.



KEY SITE PLAN



Drawing based on topographic survey prepared by Central Park Associates, Inc., dated July 8, 2011. Adjacent building outlines are shown for reference purposes only.

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
400 Park Avenue  
New York, NY 10022  
Tel: 212 691 4000

Development Corporation  
150 West Street  
New York, NY 10038  
Tel: 212 691 4000

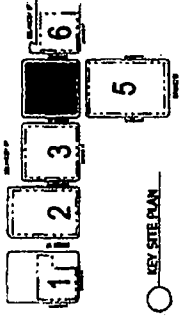
New York State Department of Planning  
150 West Street  
New York, NY 10038  
Tel: 212 691 4000

State of New York  
Department of Planning  
150 West Street  
New York, NY 10038  
Tel: 212 691 4000



PROJECT # 1717	
DATE PREPARED BY	
DATE REVISED	
DRAWN BY	
CHECKED BY	
DATE	
PROJECT NO.	
SHEET NO.	
TOTAL SHEETS	
DATE	
DRAWN BY	
CHECKED BY	
DATE	

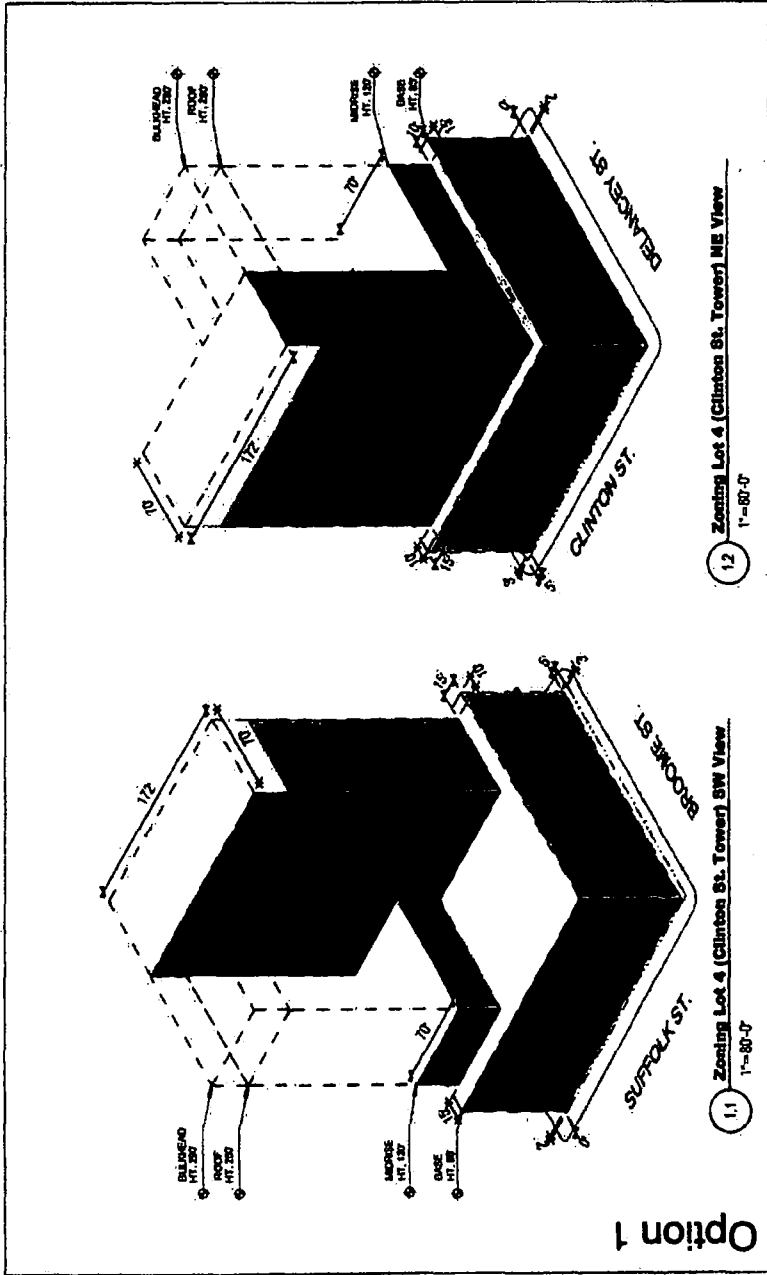
403.1



## DESIGN CONTROLS

- Setback, Height and setbacks**
- Envelope heights are relative to the Base Plane (see Sheet 403.1M).
  - The bases or footprints of Sites 4 and 5 will have a minimum height of 65' and a maximum height of 85'.
  - The midrise portions of all buildings developed pursuant to the approved Large-Scale General Development will have a maximum height of 120'.
  - For zoning lot 4, Option 1, the envelope option volume indicates the maximum extent of the base and midrise portions of the building. The tower portion of the building may be located anywhere above the building base within the envelope option shown. The tower in Option 2 will be limited to a maximum length of 165' and a maximum width of 70'.
  - Elevate or cast bulkheads (including stairs and vestibules) not larger than 60 square feet to ease providing access to a roof, cool water tanks and necessary mechanical equipment (including exhausts), other than solar or wind energy systems, shall be permitted to exceed the maximum building (roof) heights shown on the L500, up to a maximum bulkhead height of 80 feet, provided that:
    - such obstructions shall be located not less than 10 feet from the street wall of a building, except that such obstructions need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevators or cast bulkheads (including stairs or vestibules), provided the aggregate width of street walls of such bulkheads within 10 feet of a street wall, facing such street frontage, times their average height, in feet, does not exceed an area equal to four feet times the width, in feet, of the street wall of the building facing such frontage.
    - all mechanical equipment shall be screened on all sides that complies with one of the following:
      - the product, in square feet, of the aggregate width of street walls of such obstructions facing such street frontage, times their average height, shall not exceed an area equal to eight feet times the width, in feet, of the street wall of the building facing such frontage; or
      - the lot coverage of all such obstructions does not exceed 20 percent of the lot coverage of the building.

**Tower Orientation**  
Towers above the midrise portion (to base height) of a midrise portion is not constructed) that have a width or depth greater than 85 ft, on Sites 2, 3, and 4 may not be oriented such that two adjacent sides both have a north-south orientation or an east-west orientation. This restriction shall not apply to Option 1 on Site 2 or Option 5 on Site 3 is constructed on one of those sites.





# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

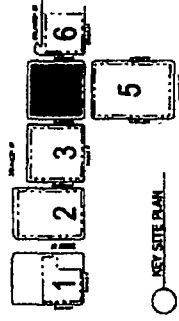
Architects & Planners LLP  
41 One LLBNB  
New York, NY 10008  
Tel: 212.771.7600  
www.bbblb.com  
New York City Department of Planning  
100 Nassau Street, 12th Floor  
New York, NY 10038  
Tel: 212.650.5000  
City of New York  
120 Nassau Street, 12th Floor  
New York, NY 10038  
Tel: 212.650.5000

REGISTERED ARCHITECT  
NEW YORK STATE OF NEW YORK  
02888  
NEW YORK



DATE: 01.14.14  
BY: [Signature]  
FOR: [Signature]  
PROJECT: BUILDING ENVELOPE DIAGRAMS  
ZONING LOT: 4

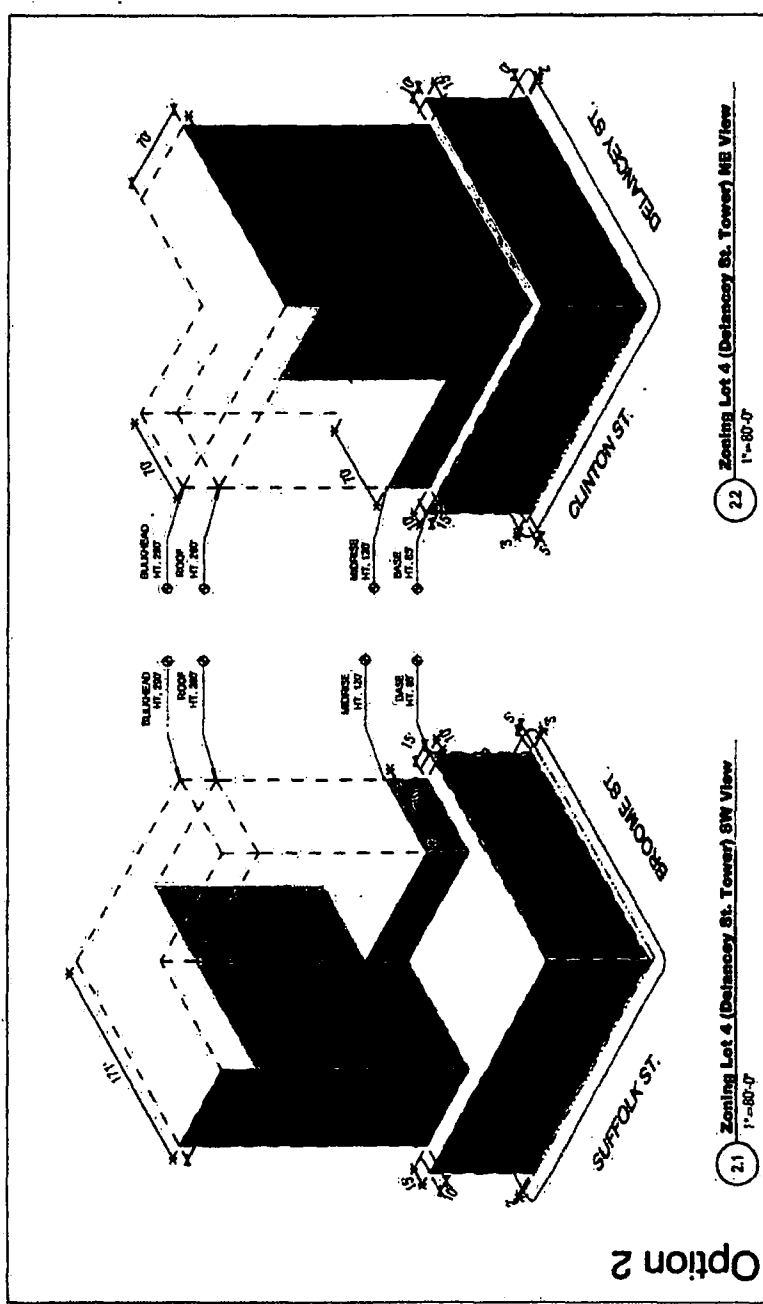
403.2



- DESIGN CONTRACTS**
- Build, Height and Setback**
- Envelope heights are relative to the Base Plane (see Sheet 404M).
  - The base or structural portions of Site 4 will have a minimum height of 60' and a maximum height of 65'.
  - The ridge portions of all buildings developed pursuant to the approved Long-Stage General Development will have a maximum height of 120'.
  - The ridge portions of all buildings developed pursuant to the maximum extent of the base and ridge portions of the building. The lower portion of the building may be located anywhere above the building base within the envelope option shown. The lower in Option 2 will be limited to a maximum length of 150' and a maximum width of 70'.
  - Staircases or shaft buildings (including stairs, and vestibules not larger than 60 square feet in area providing access to a roof), and water tanks and necessary mechanical equipment (including exhausts), other than solar or wind energy systems, shall be permitted to exceed the maximum building (roof) heights approved in the LSGD, up to a maximum building height of 30 feet, provided that:
    - such observations shall be located not less than 10 feet from the street wall of a building, except that such observations need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevator or shaft buildings (including stairs or vestibules), provided the aggregate width of street walls of such buildings within 10 feet of a street wall, being such street frontage, does not exceed the height, in feet, of the street wall of the building facing such frontage.
    - all mechanical equipment shall be screened on all sides such observations and screening are contained within a volume that complies with one of the following:
      - the product, in square feet, of the aggregate width of street walls of such observations being such street frontage, times their average height, shall not exceed an area equal to eight feet times the width, in feet, of the street wall of the building, being such frontage; or
      - 20 percent of the lot coverage of the building.

**Tower Orientation**

Towers above the midrise portion (or base height if ordered midrise portion is not constructed) that have a width or depth greater than 95 ft, on Sites 2, 3, and 4 may not be oriented such that two adjacent sides both have a north-south orientation in an east-west orientation. This restriction shall not apply if Option 4 on Site 2 or Option 5 on Site 3 is constructed on one of those sites.



**LEGEND:**

- STREET CURB LINE
- ZONING LOT LINE
- MAXIMUM BUILDING ENVELOPE
- ENVELOPE OPTION
- BUILDING BUILDING
- ZONE

21 Zoning Lot 4 (DeLancey St. Tower) SW View  
1"=80'-0"

22 Zoning Lot 4 (DeLancey St. Tower) ME View  
1"=80'-0"

Option 2

**Seward Park**  
**Mixed-Use Development Project**

**Beyer  
 Blinder  
 Belle**

Architects & Planners LLP  
 410 West 41st Street  
 New York, NY 10018  
 Tel: 212 512 2000  
 Fax: 212 512 2001  
 www.beyerblinderbelle.com  
 New York State Department of Planning  
 125 West 31st Street  
 New York, NY 10001  
 Tel: 212 424 2000  
 Fax: 212 424 2001  
 www.dop.state.ny.us

No.	Description
1	Site Plan
2	Site Plan
3	Site Plan
4	Site Plan
5	Site Plan
6	Site Plan
7	Site Plan
8	Site Plan
9	Site Plan
10	Site Plan



PROJECT NO. 12-17-17  
 ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.  
 DRAWING DATE: 03/26/2013

**BASE PLANE DIAGRAM ZONING LOT 4**  
 SHEET NO. 404M  
 DATE: 03/26/2013  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

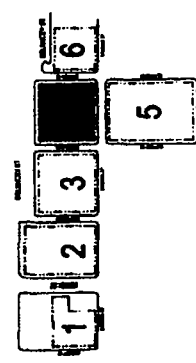
**404M**

**BASE PLANE CALCULATION (ER12-10):**  
 BASE PLANE = AQL ELEVATION + (LOT COVERAGE / ZONING LOT AREA) %

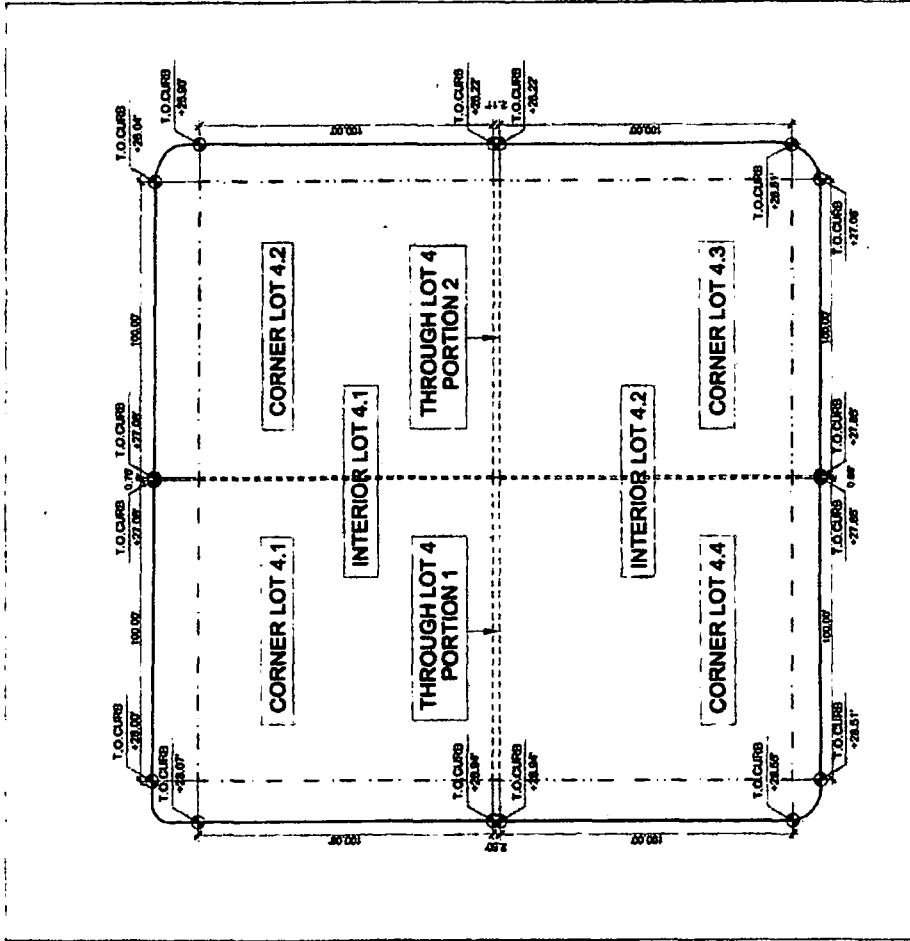
CORNER LOT 4.1: 28.02' x (5,109 SF / 55,538 SF) = 7.12'  
 CORNER LOT 4.2: 28.57' x (5,212 SF / 55,538 SF) = 7.59'  
 CORNER LOT 4.3: 28.99' x (5,682 SF / 55,538 SF) = 8.44'  
 CORNER LOT 4.4: 28.48' x (6,031 SF / 55,538 SF) = 8.78'  
 THROUGH LOT 4: 27.59' x ( 57 SF / 55,538 SF) = 0.26'  
 INTERIOR LOT 4.1: 27.59' x ( 59 SF / 55,538 SF) = 0.04'  
 INTERIOR LOT 4.2: 27.59' x ( 57 SF / 55,538 SF) = 0.04'

**SITE 4 BASE PLANE: 28.23'**

**LEGEND**  
 STREET CURB LINE  
 ZONING LOT LINE  
 ZONING LOT DIVISION LINES



**KEY SITE PLAN**



Drawing based on topographic survey prepared by Central Planner Associates, Inc., dated July 8, 2011. All dimensions to be verified in the field.

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLC

11 E. 42nd St., 20th Fl.  
New York, NY 10017  
Tel: 212 677 7000

New York City Department of Buildings  
150 William Street  
New York, NY 10038  
Tel: 212 312 2200

New York City Department of Planning  
115 West Street  
New York, NY 10038  
Tel: 212 312 2200

Legal Counsel:  
100 Wall Street  
New York, NY 10038  
Tel: 212 312 2200

11 E. 42nd St., 20th Fl.  
New York, NY 10017  
Tel: 212 677 7000

### ZONING REQUIREMENTS:

**MAX. BASE HEIGHT (ZONING-40):**  
PERMITTED: 80 FT. ABOVE BASE PLANE ALONG  
STREETS AND 100 FT. ABOVE BASE PLANE WITHIN  
100 FT. OF A WIDE STREET.  
PROPOSED: 80 FT. ABOVE BASE PLANE ALONG  
ALL STREETS.

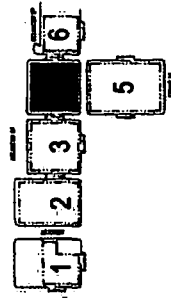
**MAX. RETRACK FROM STREET WALL (ZONING-3A):**  
REQUIRED: 10 FT. ALONG WIDE STREETS  
18 FT. ALONG NARROW STREETS  
PROPOSED: 10 FT. ALONG DELANCEY ST. AND  
CLINTON ST.  
18 FT. ALONG SUFFOLK ST. AND  
BROOME ST.

**MAX. BUILDING HEIGHT (ZONING-2A):**  
PERMITTED: 108 FT. ABOVE BASE PLANE ALONG  
NARROW STREETS  
120 FT. ABOVE BASE PLANE WITHIN  
100 FT. OF A WIDE STREET  
PROPOSED: 260 FT. (250 FT. INCL. BALCONY)

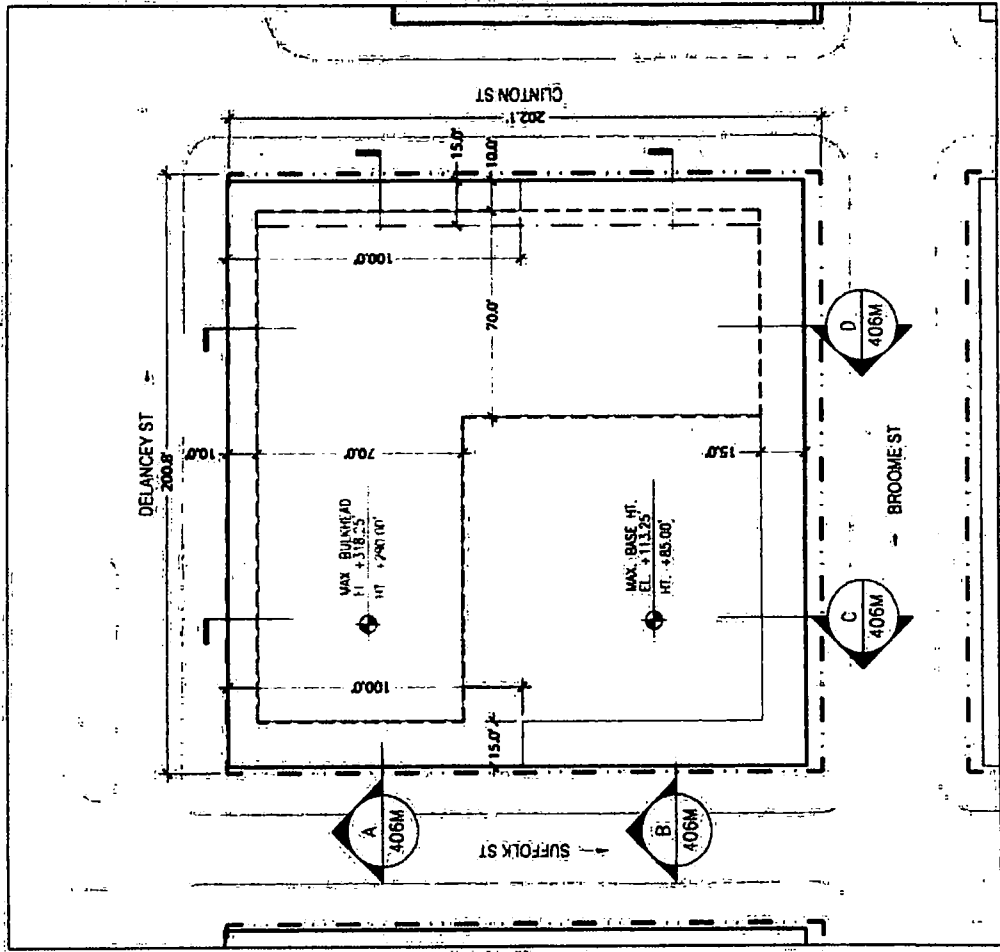
### LEGEND

- STREET CURB LINE
- - - ZONING LOT LINE
- ▭ MASSING BLOCK, BASE ENVELOPE
- ▭ MASSING TOWER & UPPER ENVELOPE
- - - REQUIRED RETRACK DISTANCE
- ▭ NON-COMPLIANT HEIGHT AND RETRACK DISTANCE (TO BE WAVED UNDER SECTION 237A-2)

ALL DEVELOPER HEIGHTS ABOVE BASE PLANE



KEY SITE PLAN



Drawing based on topographic survey prepared by Control Point Associates, Inc. dated July 8, 2011. Adjacent building footprints are shown for reference purposes only.

1 ZONING ACTIONS PLAN: ZONING LOT 4  
Scale: 1" = 40'-0"

**405M**



NO. 10982, LIC. 117-17  
 Daniel J. Attardo  
 REGISTERED ARCHITECT  
 STATE OF NEW YORK  
 ZONING ACTIONS PLAN  
 (MIXED-USE)  
 ZONING LOT 4  
 11 E. 42nd St.  
 21 MARCH 2022  
 EXCELLE

# Seward Park

## Mixed-Use Development Project

### Beyer Blinder Belle

Architects & Planners LLP

41 East 11 Street  
New York, NY 10003  
212 677 1700

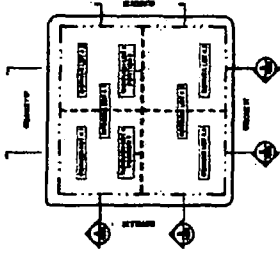
100 West 40th Street  
New York, NY 10018  
212 675 1000

100 West 40th Street  
New York, NY 10018  
212 675 1000

100 West 40th Street  
New York, NY 10018  
212 675 1000

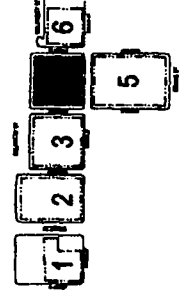
#### ZONING REGULATIONS FOR MIXED-USE BUILDINGS (ZSS-34)

- Proposed Zoning District: R8 with CSD Overlay
- Min. Permitted Base Height: 60 FT
- Min. Permitted Base Height: 60 FT (along narrow Street)
- Min. Permitted Base Height: 80 FT (within 100 FT of Wide Street)
- Min. Permitted Base Height: 100 FT (on Normal Street)
- Min. Permitted Base Height: 120 FT (within 100 FT of Wide Street)
- Min. Permitted Subplot Area Street Frontage: 10 FT (along narrow Street)
- Min. Permitted Subplot Area Street Frontage: 10 FT (along Wide Street)

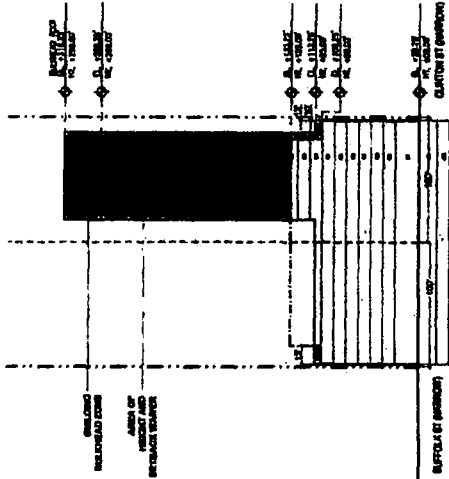


BASE PLANS, GENERAL  
REFER TO SHEET 004 FOR BASE PLANS  
DRAWING FOR ZONING LOT 4

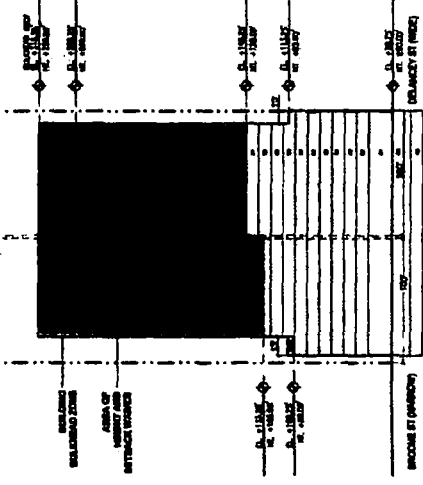
- #### LEGEND
- STREET CURB LINE
  - ZONING LOT LINE
  - MIXED-USE BUILDING DEVELOPMENT
  - MIXED-USE BUILDING DEVELOPMENT
  - COMPLIANT HEIGHT AND SETBACK AREA OF MIXED-USE BUILDING DEVELOPMENT
  - NON-COMPLIANT HEIGHT AND SETBACK AREA OF MIXED-USE BUILDING DEVELOPMENT TO BE REMOVED UNDER SECTION 240(2)(b)
  - PLACED DEVELOPER FOR INFORMATIONAL PURPOSES ONLY



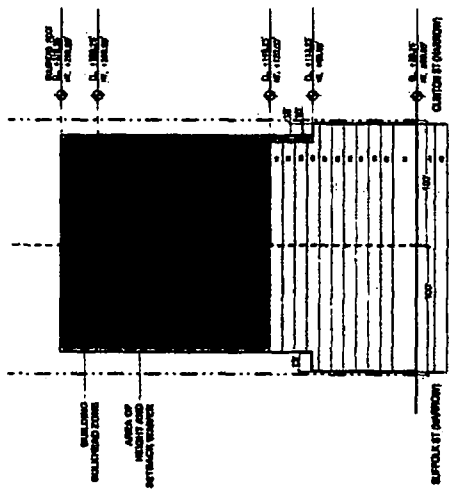
KEY PLAN



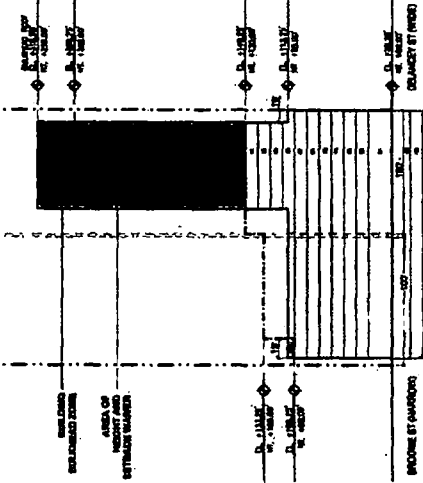
SECTION A  
10'-0" x 10'-0"



SECTION B  
10'-0" x 10'-0"



SECTION C  
10'-0" x 10'-0"



SECTION D  
10'-0" x 10'-0"

Drawings based on topographic survey prepared by Cowi  
Partnership, Inc., dated July 8, 2011.  
Vertical Elevations based on the Borough of Manhattan Datum.



SHEET 003 OF 17  
DATE: 03/21/12  
PROJECT: SEWARD PARK  
DRAWING TITLE: ZONING ACTIONS  
SECTIONS (MIXED-USE)  
ZONING LOT 4  
DATE: 03/21/12  
DRAWN BY: [Name]  
CHECKED BY: [Name]

406M

# Seward Park

## Mixed-Use Development Project

**Beyer Blinder Belle**  
Architects & Planners LLP  
41 Canal Street, Suite 2000  
New York, NY 10014  
Tel: 212-771-1800  
Fax: 212-771-1801  
www.bbblaw.com

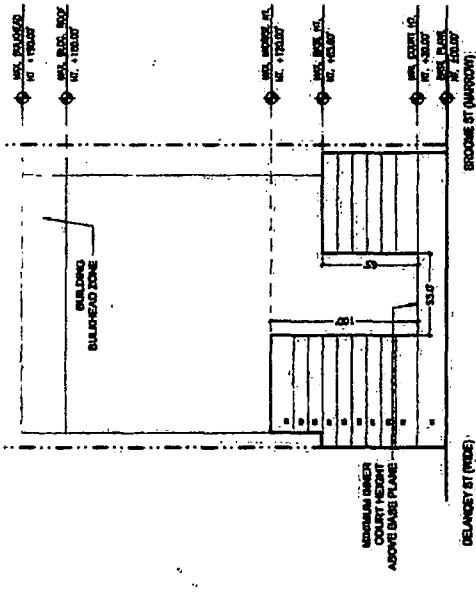
Prepared for: **Central Point Associates, Inc.**  
110 West 11th Street, 11th Floor  
New York, NY 10011  
Tel: 212-691-1100  
Fax: 212-691-1101  
www.centralpoint.com



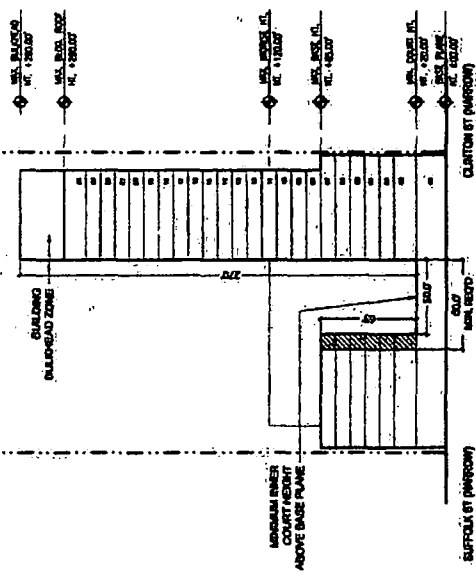
Sheet No. **11-11**  
Project No. **11-11**  
Date: **11/11/11**  
Scale: **1" = 80'-0"**

**INNER COURT DIAGRAMS**  
**ZONING LOT 4**  
Scale: **1" = 80'-0"**  
Date: **11/11/11**

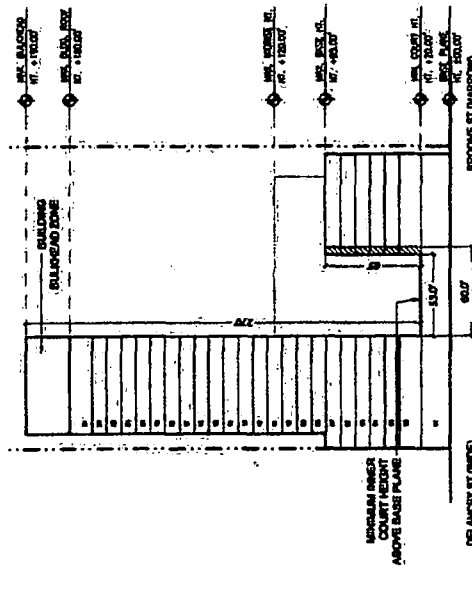
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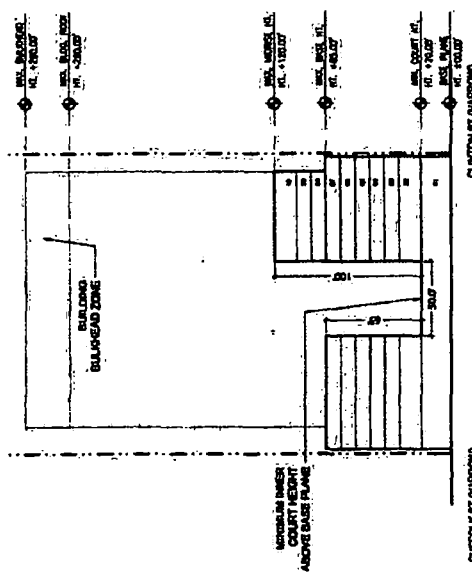
**1.1** INNER COURT PLAN - ENVELOPE OPTION 1  
Scale: **1" = 80'-0"**



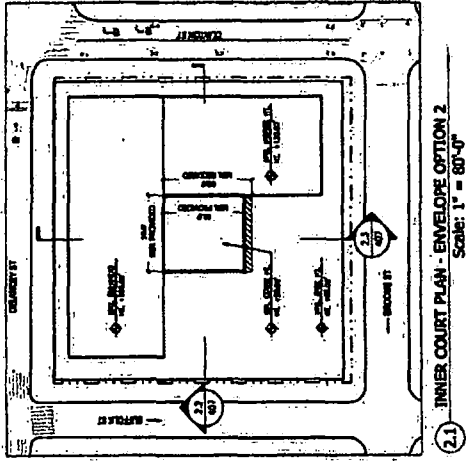
**1.2** INNER COURT SECTION A - ENVELOPE OPTION 1  
Scale: **1" = 80'-0"**



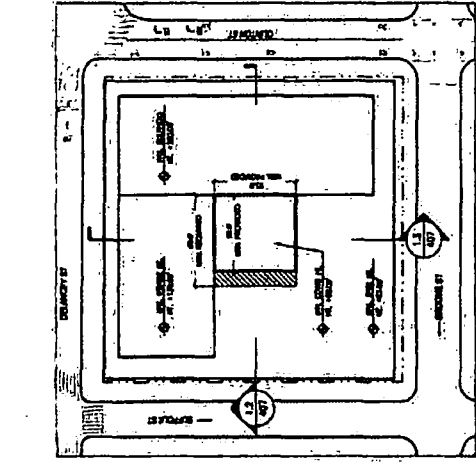
**1.3** INNER COURT SECTION B - ENVELOPE OPTION 1  
Scale: **1" = 80'-0"**



**1.4** INNER COURT SECTION A - ENVELOPE OPTION 2  
Scale: **1" = 80'-0"**



**2.1** INNER COURT PLAN - ENVELOPE OPTION 2  
Scale: **1" = 80'-0"**



**2.2** INNER COURT SECTION A - ENVELOPE OPTION 2  
Scale: **1" = 80'-0"**

Drawings based on topographic survey prepared by Central Point Associates, Inc. dated July 8, 2011. Elevation dimensions are relative to the Base Plane. All dimensions to be verified in the field.

**LEGEND**  
 - - - - - ZONING LOT LINE  
 - - - - - ENVELOPE RELATIVE TO BASE PLANE  
 - - - - - MEDIUM INNER COURT HEIGHT ABOVE BASE PLANE  
 - - - - - MEDIUM ENVELOPE OPTION  
 - - - - - ALTERNATIVE COURT OUTLINE  
 - - - - - STREET CURB LINE  
 - - - - - PLAN DIMENSIONS  
 - - - - - SECTION DIMENSIONS  
 - - - - - SECTION DIMENSIONS OPTION UP TO MEDIUM ENVELOPE HEIGHT  
 - - - - - SECTION DIMENSIONS OPTION UP TO MEDIUM ENVELOPE HEIGHT

**ZONING REQUIREMENTS:**  
 MIN. WINDOW DISTANCE IN INNER COURTS OR 32'-0" REQUIRED - HALF THE FT. OF OPPOSITE WALL, NOT TO EXCEED 40 FT.  
 PROPOSED: 30 FT. x 32 FT. AS NOTED ON DWGS.

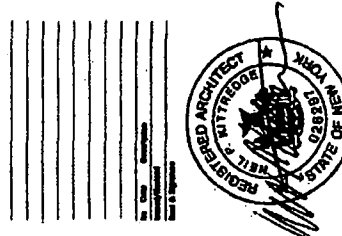
**KEY SITE PLAN**

**INNER COURT DIAGRAMS**  
**ZONING LOT 4**  
Scale: **1" = 80'-0"**  
Date: **11/11/11**

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

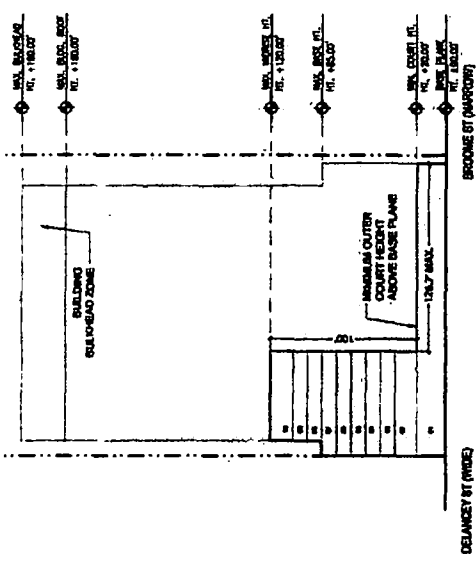
Architects & Planners LLP  
41 East 53 Street  
New York, NY 10022  
Tel: 212-771-1800  
Fax: 212-771-1801  
www.bbblaw.com  
New York City Building  
Department Registration  
No. 13000000000000000000  
1300 Broadway, 10th Floor  
New York, NY 10018  
Tel: 212-260-8000  
Fax: 212-260-8001  
www.bbblaw.com  
Licensed Architect  
No. 00000000000000000000  
New York State License  
No. 00000000000000000000



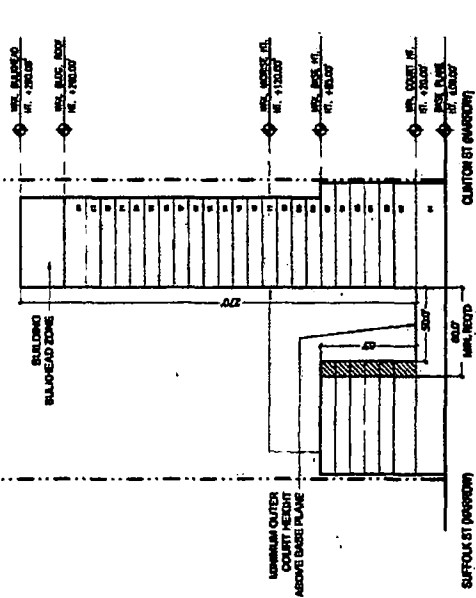
DATE: 08/11/17  
BY: [Signature]  
PROJECT: Seward Park  
SCALE: AS SHOWN  
SHEET NO. 1 OF 1

**OUTER COURT DIAGRAMS  
ZONING LOT 4**  
Scale: 1" = 80'-0"  
DATE: 08/11/17  
BY: [Signature]

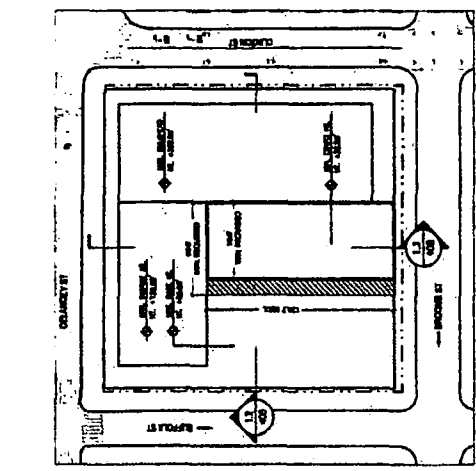
**408**



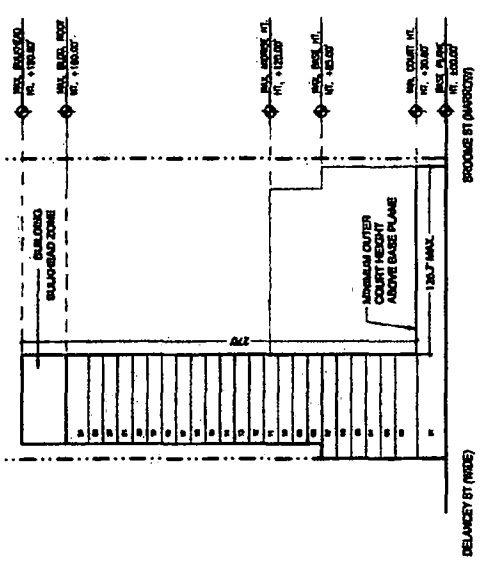
**1.1** OUTER COURT PLAN - ENVELOPE OPTION 1  
Scale: 1" = 80'-0"



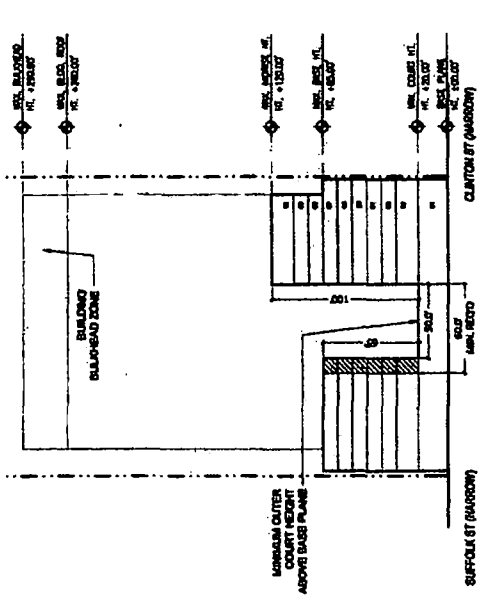
**1.2** OUTER COURT SECTION A - ENVELOPE OPTION 1  
Scale: 1" = 80'-0"



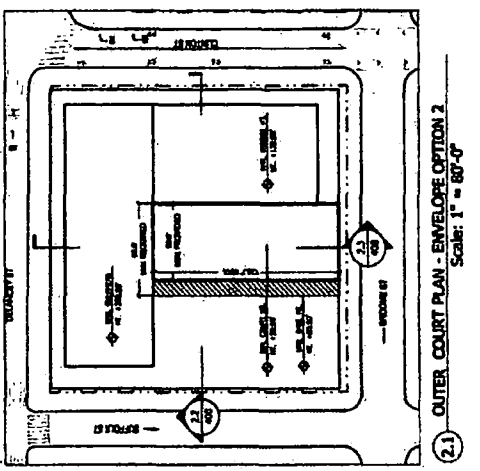
**1.3** OUTER COURT SECTION B - ENVELOPE OPTION 1  
Scale: 1" = 80'-0"



**2.1** OUTER COURT PLAN - ENVELOPE OPTION 2  
Scale: 1" = 80'-0"



**2.2** OUTER COURT SECTION A - ENVELOPE OPTION 2  
Scale: 1" = 80'-0"



**2.3** OUTER COURT SECTION B - ENVELOPE OPTION 2  
Scale: 1" = 80'-0"

**LEGEND**

- MINIMUM OUTER COURT WIDTH
- BUILDING HEAD ZONE
- SETBACK LINE
- STREET CENTER LINE
- MINIMUM OUTER COURT HEIGHT
- MINIMUM OUTER COURT WIDTH
- MINIMUM OUTER COURT DEPTH
- MINIMUM OUTER COURT AREA
- MINIMUM OUTER COURT VOLUME

**ZONING REQUIREMENTS:**  
MIN. HEIGHT OF OUTER COURTS FOR 3.1.4.2.3. REQUIRED: EQUAL TO DEPTH, NOT TO EXCEED 40 FT. PROPOSED: 30 FT.

**KEY SITE PLAN**

**SECTION CHANGES:**  
DATE: 08/11/17  
BY: [Signature]

**Drawings based on topographic survey prepared by Central Point Associates, Inc. dated July 8, 2011. Elevation dimensions are relative to the Base Plane. All dimensions to be verified in the field.**

# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belie**

Architects & Planners LLP

44 West 11th Street  
New York, NY 10011  
Tel: 212 317 1200  
Fax: 212 317 1201  
www.bbbl.com

1. TOWN OF SEWARD PARK  
2. ZONING LOT 5  
3. 15' SETBACK FROM SIDE YARD  
4. 15' SETBACK FROM REAR YARD  
5. 15' SETBACK FROM FRONT YARD  
6. 15' SETBACK FROM CORNER  
7. 15' SETBACK FROM STREET



PROPOSED SITE PLAN  
ZONING LOT 5  
15' SETBACK FROM SIDE YARD  
15' SETBACK FROM REAR YARD  
15' SETBACK FROM FRONT YARD  
15' SETBACK FROM CORNER  
15' SETBACK FROM STREET

PROPOSED SITE PLAN  
ZONING LOT 5  
15' SETBACK FROM SIDE YARD  
15' SETBACK FROM REAR YARD  
15' SETBACK FROM FRONT YARD  
15' SETBACK FROM CORNER  
15' SETBACK FROM STREET

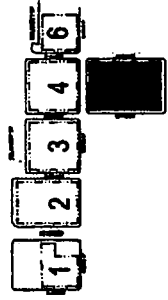
501

### LEGEND

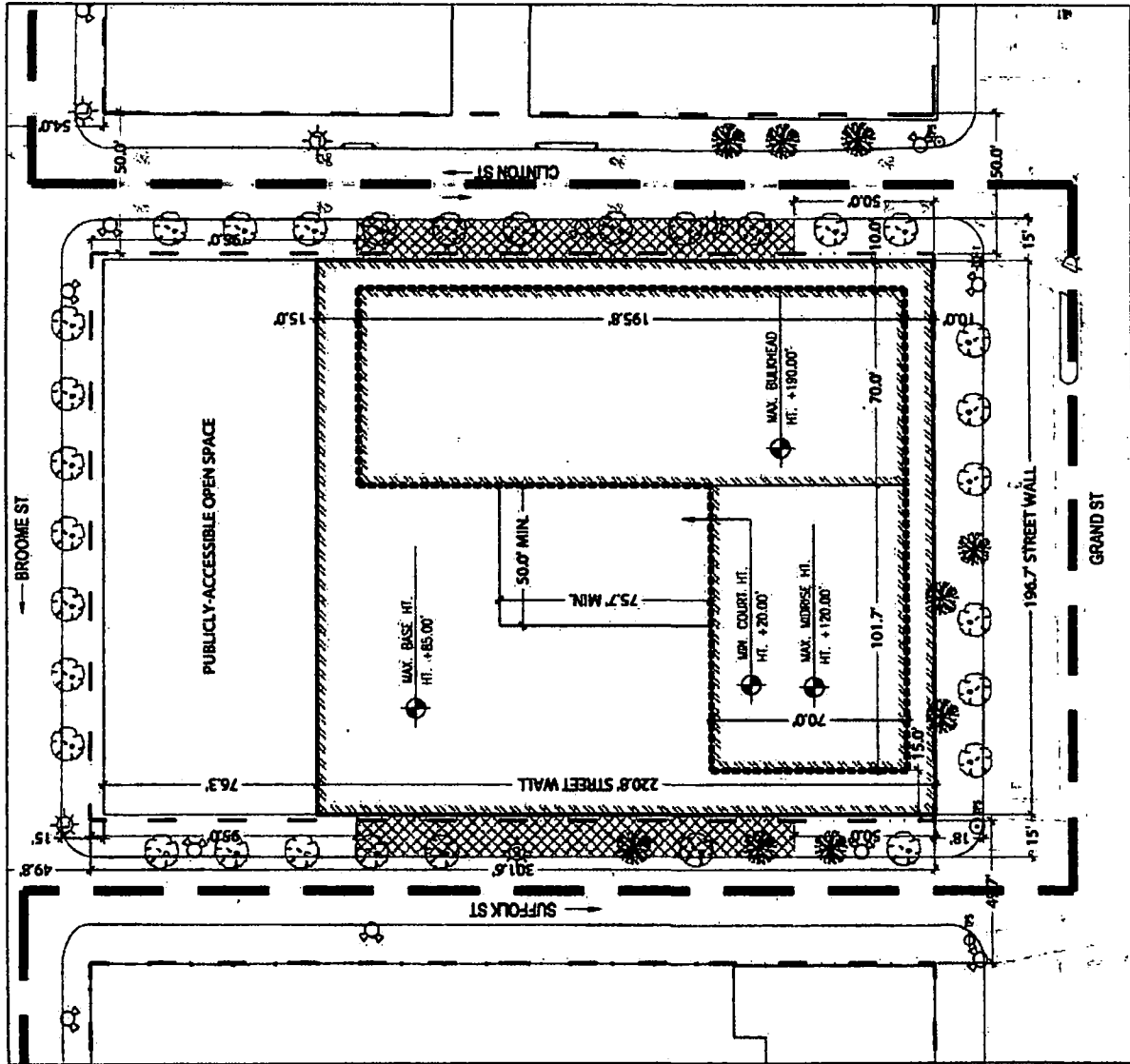
- SEWARD PARK LARGE SCALE GENERAL DEVELOPMENT BOUNDARY
- STREET CURB LINE
- TAX LOT LINE
- MAXIMUM BASE ENVELOPE AND ILLUSTRATIVE STREET WALL LINE
- MAXIMUM ENVELOPE
- TOWER AND MORRISE ZONE
- MAXIMUM ENVELOPE, OPTION 1 (SEE BUILDING ENVELOPE DIAGRAMS)
- EXISTING STREET TREE
- PROPOSED STREET TREE
- DESIRED STREET TREES OVER EXISTING SUBTERRANEAN SPACE
- EXISTING FIRE HYDRANT
- EXISTING METAL STREET LIGHT
- EXISTING TRAFFIC SIGNAL
- EXISTING TELEPHONE POLE
- EXISTING WOOD UTILITY POLE
- EXISTING WOOD POLE WITH TRAFFIC SIGNAL
- CURB CUT ZONE (PARKING & LOADING ZONE AT STREET LEVEL, WHERE BOTH GARAGE AND LOADING ENTRANCES ARE PERMITTED)

### SITE PLAN NOTES:

1. Envelope Option 1 shown as established in corresponding "Building Envelope" drawing 503. Actual building massing subject to design controls (as indicated on drawing 503).
2. Envelope heights are relative to the Base Plane.
3. Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZR 28-41. The exact location of any court is subject to change.



KEY SITE PLAN



Drawing based on topographic survey prepared by Central Point Associates, Inc., dated July 8, 2011. Adjacent building outlines are shown for reference purposes only.

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
41 East 51 Street  
New York, NY 10022  
Tel: 212 755 3300  
Fax: 212 755 3303  
www.bbbny.com

100 West 30th Street  
New York, NY 10001  
Tel: 212 512 5500  
Fax: 212 512 5501  
www.360architects.com



SEWARD PARK LOT 1 P  
DATE: 07/11/17  
PROJECT: SEWARD PARK MIXED-USE DEVELOPMENT  
DRAWING NO.: 502

GROUND FLOOR PLAN  
ZONING LOT 5  
17' x 202'  
03.0000.0002  
DATE: 07/11/17  
DRAWING NO.: 502

502

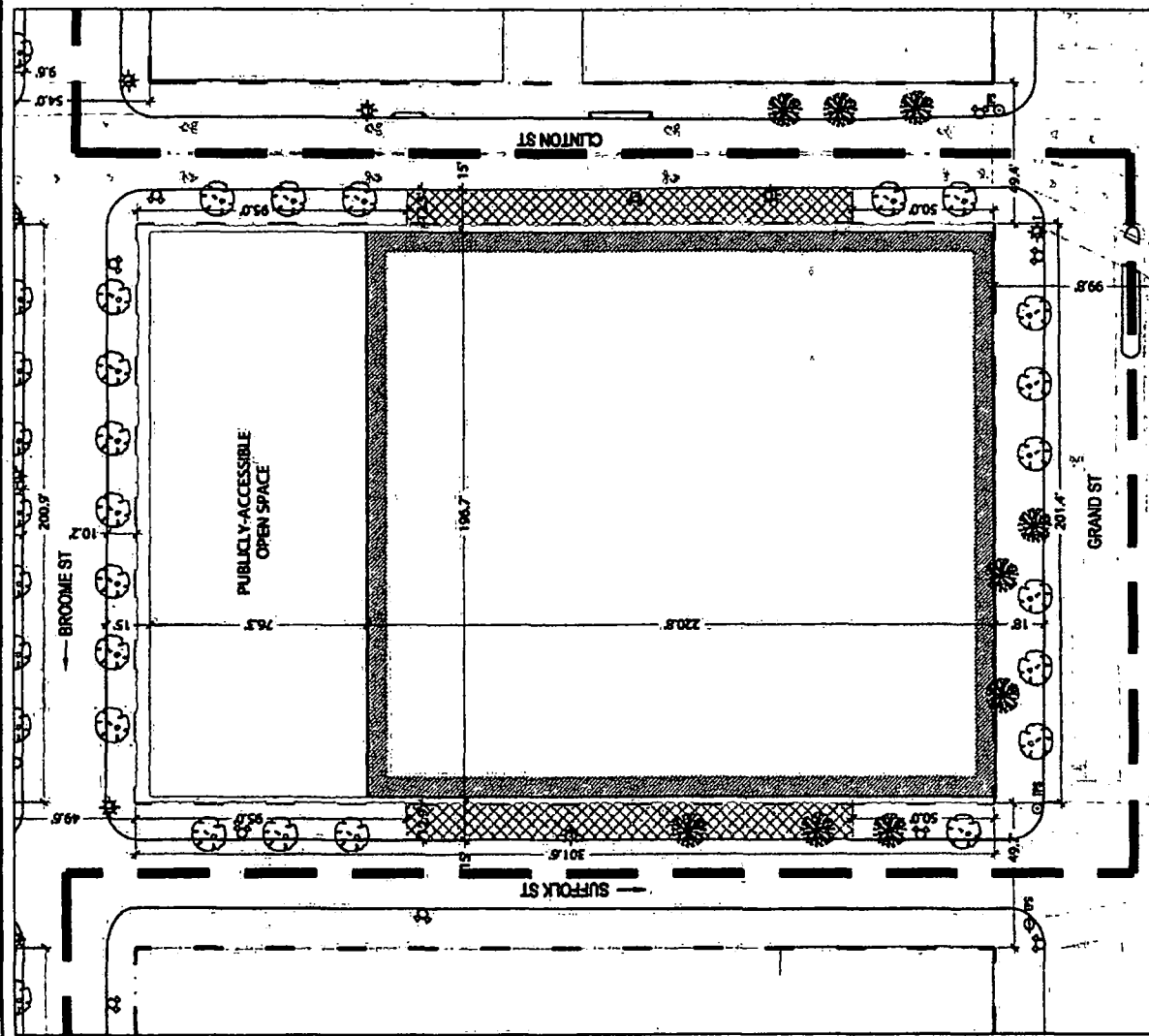
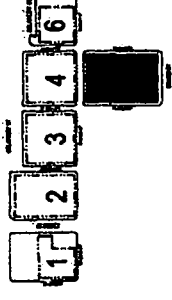
**LEGEND**

- SEWARD PARK LARGE SCALE GENERAL DEVELOPMENT BOUNDARY
- STREET CURB LINE
- TAX LOT LINE
- ILLUSTRATIVE STREET WALL LINE
- EXISTING STREET TREE
- PROPOSED STREET TREE
- REQUIRED STREET TREE OVER EXISTING SUBTERRANEAN SPACE
- EXISTING FIRE HYDRANT
- EXISTING METAL STREET LIGHT
- EXISTING TRAFFIC SIGNAL
- EXISTING TELEPHONE POLE
- EXISTING WOOD UTILITY POLE
- EXISTING WOOD POLE WITH TRAFFIC SIGNAL
- PUBLICLY-ACCESSIBLE SIDEWALKS WIDENING AREA
- GROUND FLOOR FRONTAGE ZONE
- CURB CUT ZONE (SEE PLAN FOR LOCATION OF CURB CUTS AND SIDEWALK ACCESS)

**GROUND FLOOR NOTES:**

*Ground Floor Frontage*

- Building footprints will maintain 50% transparency at ground level at all elevations ranging from 2 feet to 12 feet above curb level.
- Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZR 28-41.
- Sidewalks*
- Sidewalks will be provided at a minimum width of 15'.
- Parking and Loading*
- The USDO approves establish a maximum limit of 600 parking spaces.
- With regard to curb cut locations, curb cuts for parking garage access and/or required loading berths may be sited within the zones shown on the Site Plan.
- At Site 2, two different parking entrance options will be approved pursuant to this special permit-one at Suffolk Street and one at Chason Street. At each site all first parking entrance locations are submitted for review by the DOB at this site, only one of these options will be developed.



Drawing based on topographic survey prepared by Coastal Pines Associates, Inc., dated July 9, 2011. Adjacent building footprints are shown for reference purposes only.



# Seward Park Mixed-Use Development Project

## Beyer Blinder Belle

Architects & Planners LLP

41 West 43 Street  
New York, NY 10018  
212.677.2800

New York City Department of Planning  
110 West Street  
New York, NY 10038  
212.312.3200

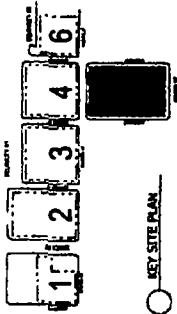
New York City Department of Buildings  
110 West Street  
New York, NY 10038  
212.312.3200

Legal Counsel  
Pier Six  
New York, NY 10014  
212.944.3200



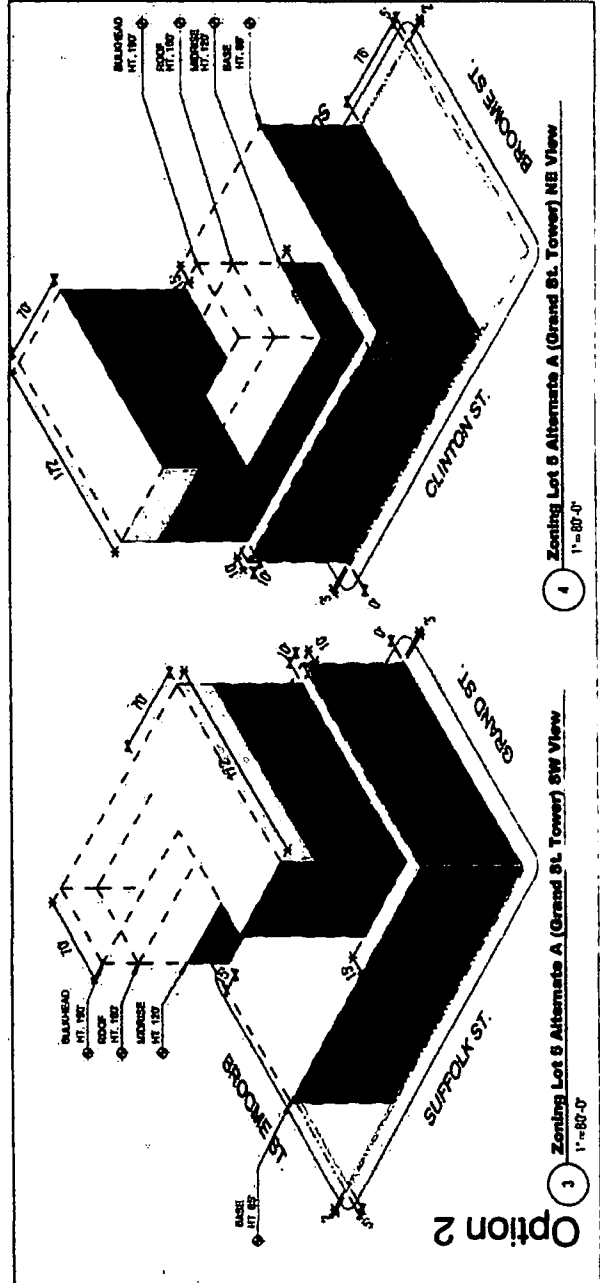
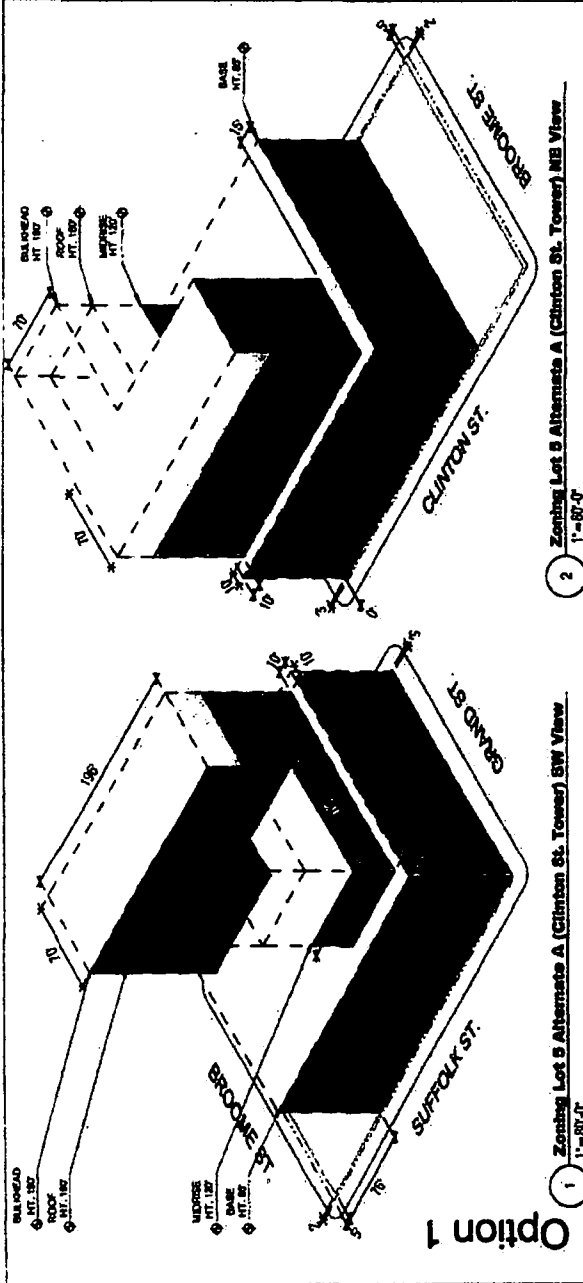
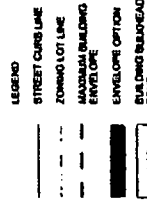
DATE: 08/11/17  
PROJECT: Seward Park  
110 West 43 Street  
New York, NY 10018  
212.677.2800

**BUILDING ENVELOPE  
DIAGRAMS**  
ZONING LOT 5  
ALTERNATE  
21 SEPTEMBER 2017  
SHEET NO.  
503



### DESIGN CONTROLS

1. South, height and setback
2. Envelope heights are relative to the Base Plane (see Sheet S0489).
3. The base or setback portions of Sides 3 will have a minimum height of 60' and a maximum height of 85'.
4. The setback portions of all buildings developed pursuant to the approved Large-Scale General Development will have a maximum height of 120'.
5. For Zoning Lot 5, Options 1 and 2, the envelope option volume includes the maximum extent of the base and setback portions of the building. The lower portion of the building may be located anywhere above the building mass within the respective envelope options shown. In both options, the tower will be limited to a maximum length of 150' and a maximum width of 70'.
6. Elevator or stair shafts (including shafts and vestibules) not larger than 60 square feet in area providing access to a roof, roof water tanks and necessary mechanical equipment (including enclosures), other than solar or wind energy systems, shall be permitted to exceed the maximum building (roof) heights approved in the USZD, up to a maximum building height of 30 feet, provided that:
  - i. such observations shall be located not less than 10 feet from the street wall of a building, except that such observations need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevator or stair shafts (including shafts or vestibules), provided the aggregate width of shaft walls within 10 feet of a street wall, including each street setback, times their average height, in feet, does not exceed an area equal to two feet times the width, in feet, of the street wall of the building facing such setback;
  - ii. all mechanical equipment shall be screened on all sides that complies with one of the following:
    - a. the product, in square feet, of the aggregate width of street walls of such observations times each street setback, times their average height, shall not exceed an area equal to eight feet times the width, in feet, of the street wall of the building facing such setback; or
    - b. the total coverage of all such observations does not exceed 20 percent of the lot coverage of the building.



Zoning Lot 5 Alternates A (Clinton St. Tower) NE View

Zoning Lot 5 Alternates A (Grand St. Tower) NE View

**Seward Park**

**Mixed-Use  
Development  
Project**

**Beyer  
Blinder  
Belle**

Architect & Planner LLP

41 Avenue L, Suite  
1000, Long Beach, CA  
90801-3998

Phone: (562) 592-1100

Fax: (562) 592-1100

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www.bbbllp.com

www.bbbllp.com

**BASE PLANE CALCULATION (CR12-10):**

BASE PLANE = AGL ELEVATION + LOT COVERAGES / EXISTING LOT AREA %

CORNER LOT 5.1:  $29.57 \times (4,333 \text{ SF} / 43,351 \text{ SF} \%) = 2.97'$

CORNER LOT 5.2:  $29.57 \times (4,340 \text{ SF} / 43,351 \text{ SF} \%) = 2.91'$

CORNER LOT 5.3:  $32.07 \times (6,308 \text{ SF} / 43,351 \text{ SF} \%) = 7.10'$

CORNER LOT 5.4:  $31.85 \times (6,190 \text{ SF} / 43,351 \text{ SF} \%) = 6.79'$

THROUGH LOT 5:  $31.19 \times (10,858 \text{ SF} / 43,351 \text{ SF} \%) = 11.49'$

INTERIOR LOT 5.1:  $27.97 \times (48 \text{ SF} / 43,351 \text{ SF} \%) = 0.10'$

INTERIOR LOT 5.2:  $22.10 \times (107 \text{ SF} / 43,351 \text{ SF} \%) = 0.36'$

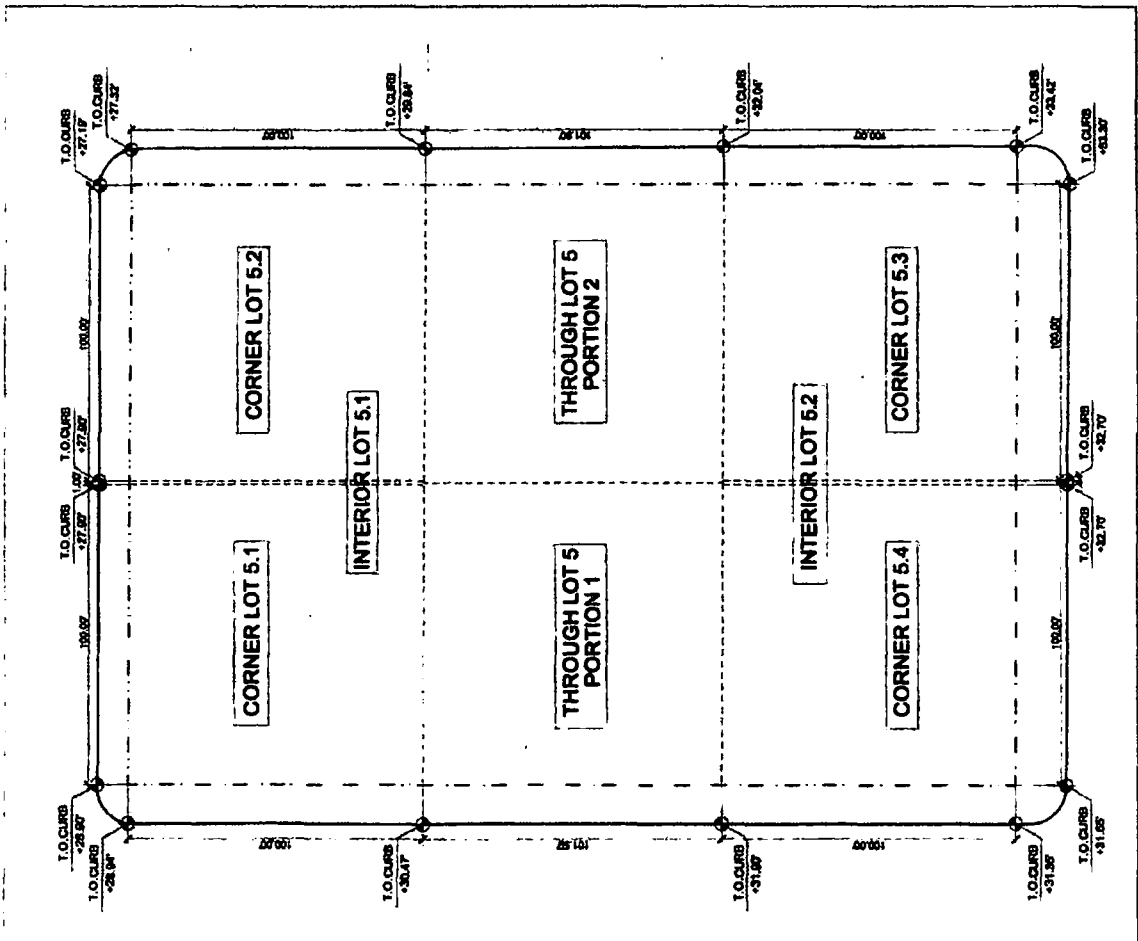
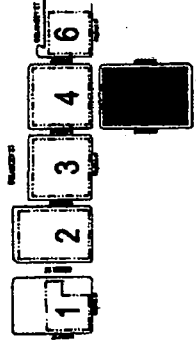
**SITE 5.1 BASE PLANE: 31.14'**

**LEGEND**

— STREET CURB LINE

--- ZONING LOT LINE

--- ZONING LOT DIVISION LINES



**BASE PLANE DIAGRAM ZONING LOT 5**

Lot	Area (SF)	Height (ft)
1	10,858	31.14
2	10,858	31.14
3	10,858	31.14
4	10,858	31.14
5	10,858	31.14
6	10,858	31.14

**504M**

KEY SITE PLAN

Drawing based on topographic survey prepared by Central Point Associates, Inc. dated July 8, 2011. All dimensions to be verified in the field.

# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP

41 West 41st Street  
New York, NY 10018  
Tel: 212.693.1000  
Fax: 212.693.1001

New York City  
Department of City Planning  
100 West Street  
New York, NY 10038  
Tel: 212.312.2200  
Fax: 212.312.2201

Professional Seal and Stamp  
Professional Engineer  
No. 10000000000000000000  
State of New York  
2000 West 41st Street  
New York, NY 10018  
Tel: 212.693.1000

### ZONING REQUIREMENTS:

MAX. BASE HEIGHT (Z2035-24):  
PERMITTED: 80 FT. ABOVE BASE PLANE ALONG  
NARROW STREETS

65 FT. ABOVE BASE PLANE WITHIN  
100 FT. OF A WIDE STREET

PROPOSED: 85 FT. ABOVE BASE PLANE ALONG  
ALL STREETS

MIN. SETBACK FROM STREET WALL (Z2035-24):  
REQUIRED: 10 FT. ALONG WIDE STREETS

15 FT. ALONG NARROW STREETS

PROPOSED: 15 FT. ALONG GRAND ST. AND  
CLINTON ST.

15 FT. ALONG SUFFOLK ST. AND  
BROOME ST.

MAX. BUILDING HEIGHT (Z2035-24):  
PERMITTED: 105 FT. ABOVE BASE PLANE ALONG  
NARROW STREETS

120 FT. ABOVE BASE PLANE WITHIN  
100 FT. OF A WIDE STREET

PROPOSED: 100 FT. (110 FT. INCL. BULTRIAID)

### LEGEND

STREET CURB LINE

ZONING LOT LINE

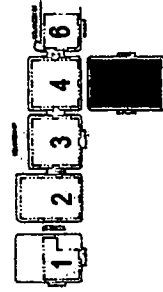
MAXIMUM BLDG. BASE ENVELOPE

MAXIMUM TOWER & MIDDLE ENVELOPE

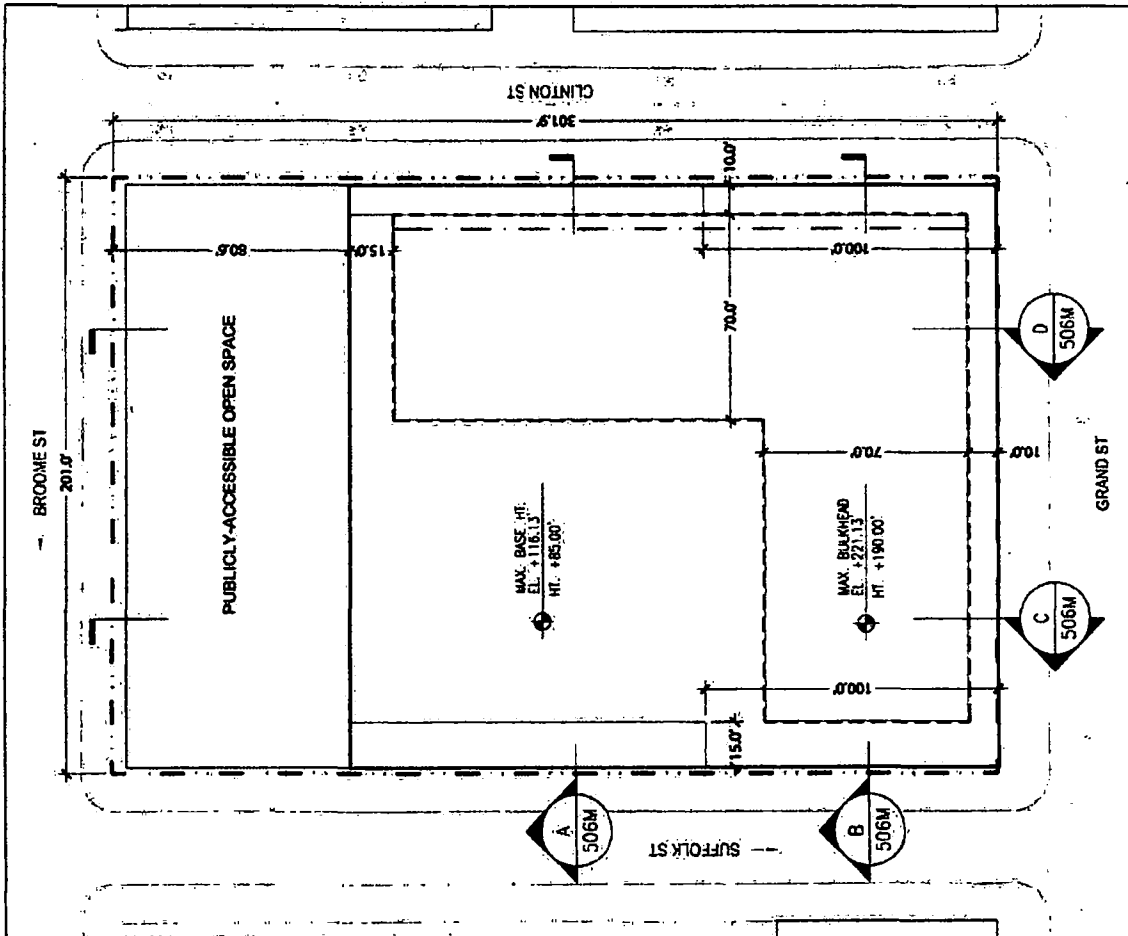
REQUIRED SETBACK DISTANCE

NON-COMPLIANT HEIGHT AND SETBACK  
AREA OF MAXIMUM BUILDING ENVELOPE  
TO BE WALKED UNDER SECTION Z204-26

ALLOWED HEIGHT ABOVE BASE PLANE



KEY SITE PLAN



Drawing based on topographic survey prepared by Cassini Partners, Inc., dated July 8, 2011. Adjusted building envelope are shown for reference purposes only.

ZONING ACTIONS PLAN: ZONING LOT 5  
Scale: 1" = 40'-0"

1

SEAL OF THE CITY OF NEW YORK  
REGISTERED ARCHITECT  
No. 10000000000000000000  
State of New York

PROJECT NO. 12-117  
DATE: 07/11/11  
BY: [Signature]  
FOR THE ARCHITECT:  
Beyer Blinder Belle  
41 West 41st Street  
New York, NY 10018  
Tel: 212.693.1000  
Fax: 212.693.1001

ZONING ACTIONS PLAN  
(MIXED-USE)  
ZONING LOT 5  
1-400-0  
25 NORTH 200  
FIELD

505M

# Seward Park Mixed-Use Development Project

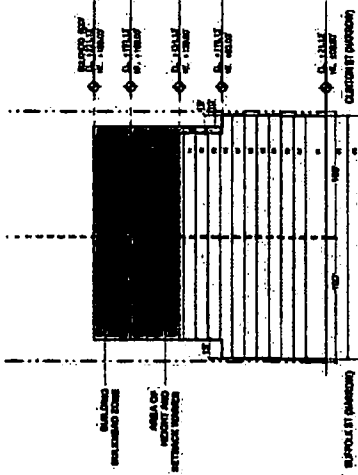
**Beyer  
Blinder  
Belle**

Architects & Planners LP  
45 East 13 Street  
New York, NY 10003  
212.771.1000

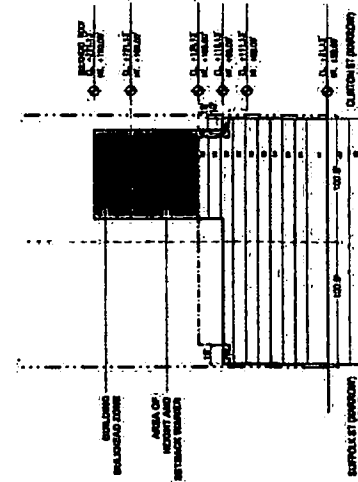
New York City Department of City Planning  
150 William Street  
New York, NY 10038  
212.312.3200  
New York City Department of Buildings  
130 Nassau Street  
New York, NY 10038  
212.312.3200  
New York City Department of Environmental Conservation  
625 Broadway  
New York, NY 10017  
212.312.3200  
New York City Department of Transportation  
150 William Street  
New York, NY 10038  
212.312.3200  
New York City Department of Parks and Recreation  
150 William Street  
New York, NY 10038  
212.312.3200

**ZONING REGULATIONS FOR  
MIXED-USE BUILDINGS (EXCERPT):**

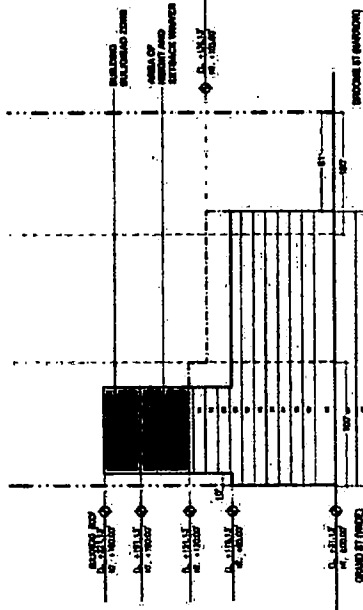
- Proposed Zoning District: IS with CS-3 Overlay
- Min. Permitted Store Height: 10 FT.
- Max. Permitted Store Height: 15 FT. (along Nassau Street)  
20 FT. (along West Street)  
25 FT. (along 100 FT. of West Street)
- Min. Permitted Sign Height: 120 FT. (along Nassau Street)  
150 FT. (along West Street)
- Min. Permitted Overhang from Street Wall: 15 FT. (along Nassau Street)  
10 FT. (along West Street)



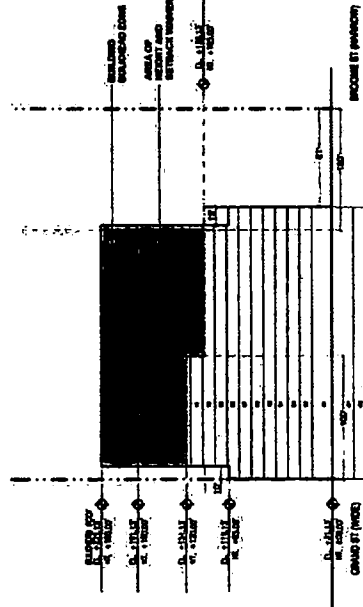
SECTION A  
10/17/12



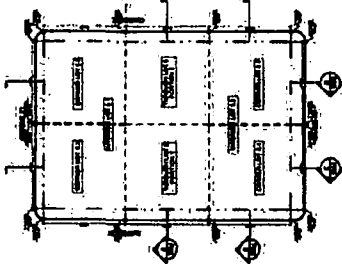
SECTION B  
10/17/12



SECTION C  
10/17/12



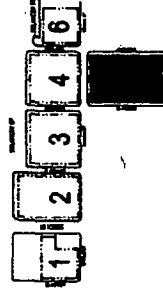
SECTION D  
10/17/12



BASE PLANS, ENDS

REFER TO SHEET 0001 FOR BASE PLANS  
ENDS FOR ZONING LOT 5

- LEGEND**
- STREET CURB LINE
  - ZONING LOT LINE
  - MAXIMUM PERMITTED BUILDING DEVELOPMENT
  - MAXIMUM PERMITTED BUILDING DEVELOPMENT
  - AREA OF MAXIMUM BALANCED DEVELOPMENT
  - NON-COMPLIANT HEIGHT AND SETBACK
  - AREA OF MAXIMUM BALANCED DEVELOPMENT TO BE EXERCISED UNDER SECTION 24-203(a)
  - FLOOD CONTROL FOR INFORMATION PURPOSES ONLY



11/17/12 (24-203) & 24-203

11/17/12 (24-203) & 24-203

11/17/12 (24-203) & 24-203

11/17/12 (24-203) & 24-203

11/17/12 (24-203) & 24-203

11/17/12 (24-203) & 24-203

11/17/12 (24-203) & 24-203

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11/17/12 (24-203) & 24-203

11/17/12 (24-203) & 24-203

11/17/12 (24-203) & 24-203

11/17/12 (24-203) & 24-203

11/17/12 (24-203) & 24-203

**506M**

Changes based on topographic survey prepared by Corvo  
Point Associates, Inc., dated July 8, 2011.  
Vertical Elevations based on the Benchmark of Manhattan Island.



# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architect & Planner LLP  
45 Park St. Boston  
MA 02114

Site: Seward Park  
Address: 1250 Seward Park  
City: Boston, MA  
State: MA  
Project No.: 1250SP  
Drawing No.: 1250SP-01

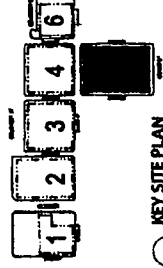
### ZONING REQUIREMENTS:

SEE MAP OF OUTER COURT ZONING DISTRICTS TO BE APPLIED TO DEVELOPMENT. REFER TO MAP TO DETERMINE APPLICABLE ZONING DISTRICT.

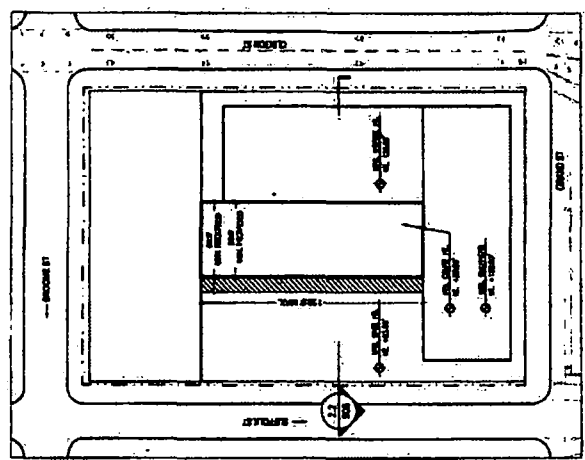
### LEGEND:

- BOUNDARY LINE
- PLANNING BOARD LINES
- EXISTING LOT LINES
- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- PROPOSED DRIVEWAYS
- PROPOSED DRIVEWAYS
- PROPOSED DRIVEWAYS
- PROPOSED DRIVEWAYS
- PROPOSED DRIVEWAYS

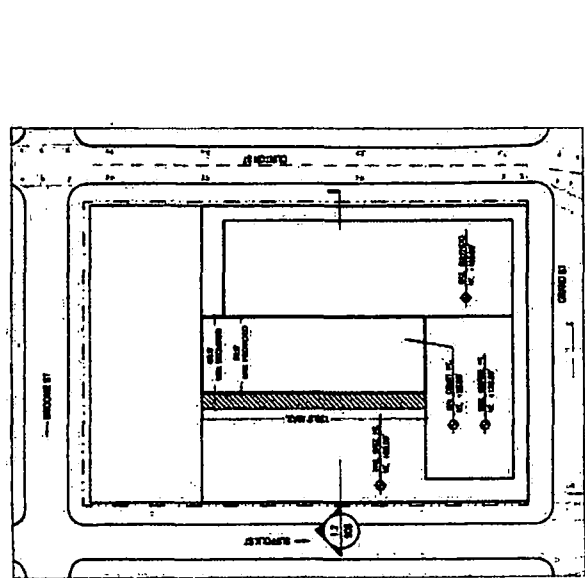
Drawings based on topographic survey prepared by Central Point Associates, Inc. dated July 8, 2011. Elevation dimensions are relative to the Base Plane. All dimensions to be verified in the field.



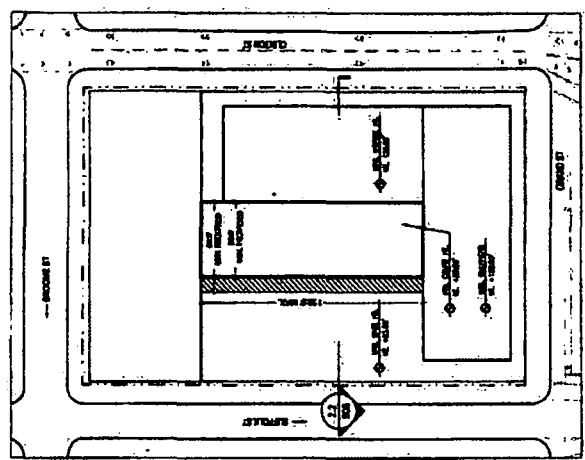
KEY SITE PLAN



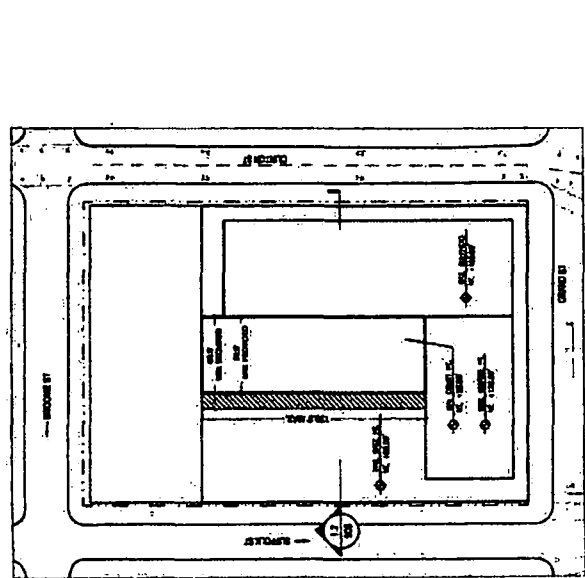
1.1 OUTER COURT PLAN - ENVELOPE OPTION 1  
Scale: 1" = 80'-0"



1.2 OUTER COURT SECTION - ENVELOPE OPTION 1  
Scale: 1" = 80'-0"



2.1 OUTER COURT PLAN - ENVELOPE OPTION 2  
Scale: 1" = 80'-0"



2.2 OUTER COURT SECTION - ENVELOPE OPTION 2  
Scale: 1" = 80'-0"



PROJECT NO. 1250SP-01  
DATE: 07/15/11  
SCALE: 1" = 80'-0"  
DRAWING NO. 1250SP-01

### OUTER COURT DIAGRAMS ZONING LOT 5

# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architect 11th Floor  
45 Ave. A, Suite 1100  
New York, NY 10013  
Tel: 212 693-1100

New York City Department of City Planning  
110 West Street  
New York, NY 10038  
Tel: 212 312-2000

New York City Department of Buildings  
100 West Street  
New York, NY 10038  
Tel: 212 312-2000

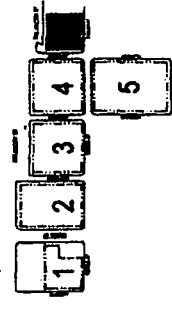
Light Engineering  
100 West Street  
New York, NY 10038  
Tel: 212 312-2000

### LEGEND

- SEWARD PARK LARGE SCALE GENERAL DEVELOPMENT BOUNDARY
- STREET CURB LINE
- TAX LOT LINE
- MAXIMUM BASE ENVELOPE AND ILLUSTRATIVE STREET WALL LINE
- MAXIMUM ENVELOPE: TOWER AND MIDRISE ZONE
- MAXIMUM ENVELOPE: OPTION 1 (SEE BUILDING ENVELOPE DIAGRAMS)
- EXISTING STREET TREE
- PROPOSED STREET TREE
- REQUIRED STREET TREES OVER EXISTING SUBTERRANEAN SPACE
- EXISTING FIRE HYDRANT
- EXISTING METAL STREET LIGHT
- EXISTING TRAFFIC SIGNAL
- EXISTING TELEPHONE POLE
- EXISTING WOOD UTILITY POLE
- EXISTING WOOD POLE WITH TRAFFIC SIGNAL
- CURB CUT ZONE (LOADING ZONE AT STREET LEVEL WHERE LOADING ENTRANCES ARE PERMITTED)

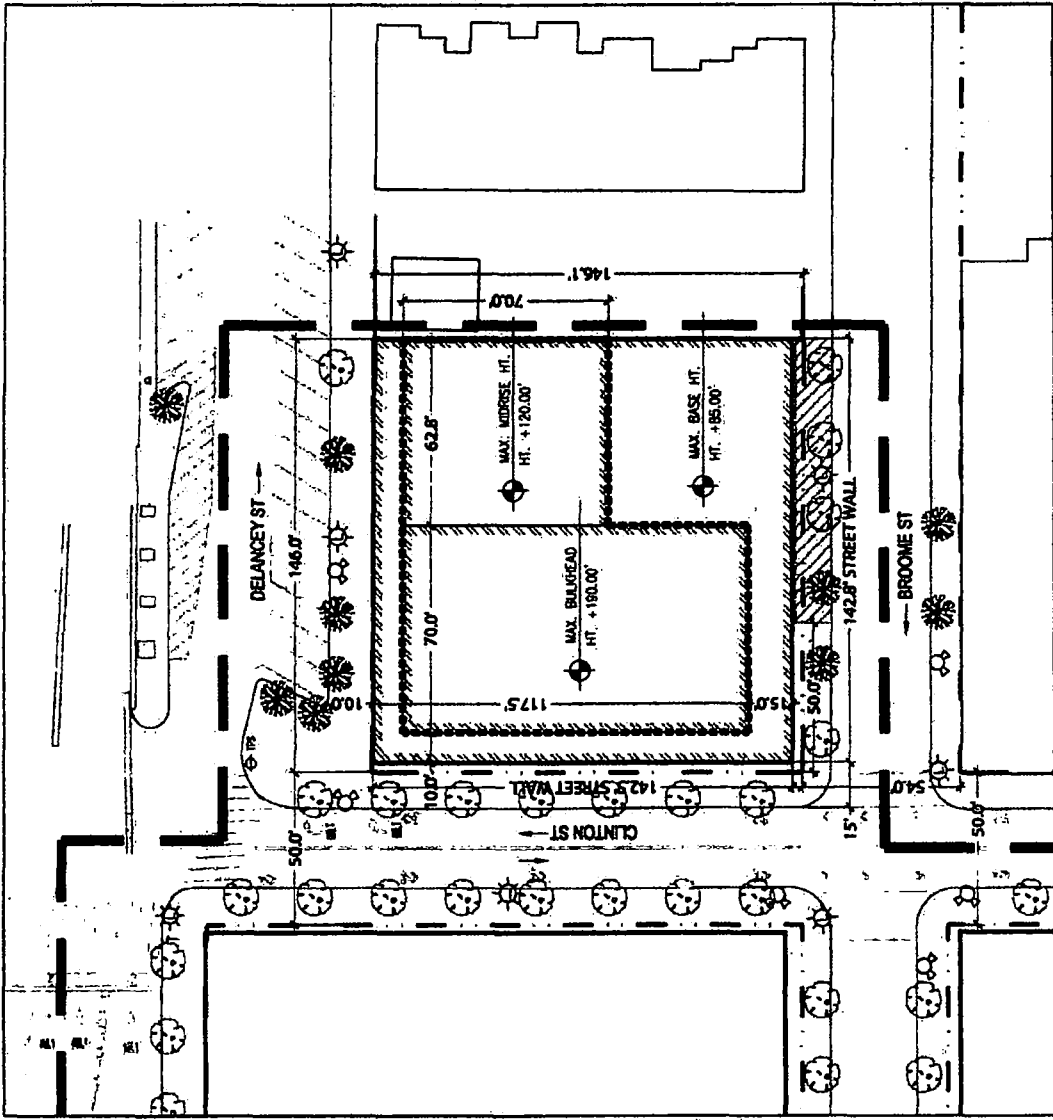


PROPOSED SITE PLAN  
ZONING LOT 6  
Scale: 1" = 50'-0"  
Date: 21 MARCH 2023  
Drawing No: 603.01



KEY SITE PLAN

601



Drawing based on topographic survey prepared by Central Point Associates, Inc., dated July 2, 2011. Adjacent building footprints are shown for reference purposes only.

#### SITE PLAN NOTES:

1. Envelope Option 1 shown as established in corresponding "Building Envelope" drawing 603. Actual building massing subject to design controls (as indicated on drawing 603).
2. Envelope heights are relative to the Base Plane or the Average Curb Level elevations (as indicated).
3. Proposed street tree locations (as shown in all Site Plan drawings) are illustrative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZR 28-41.

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**  
Architects & Planners LLP  
45 Park Lane  
New York, NY 10022  
212-279-1800

Prepared for the Client  
100 W. 19th Street  
New York, NY 10011  
212-279-1800

Prepared for the Architect  
100 W. 19th Street  
New York, NY 10011  
212-279-1800

Legal Description  
Lot 10, Block 10, of the  
Block 10, Lots 10 & 11, of  
Block 10, of the  
Block 10, of the

No.	Description
1	Sheet 1011-01
2	Sheet 1011-02
3	Sheet 1011-03
4	Sheet 1011-04
5	Sheet 1011-05
6	Sheet 1011-06
7	Sheet 1011-07
8	Sheet 1011-08
9	Sheet 1011-09
10	Sheet 1011-10
11	Sheet 1011-11
12	Sheet 1011-12
13	Sheet 1011-13
14	Sheet 1011-14
15	Sheet 1011-15
16	Sheet 1011-16
17	Sheet 1011-17
18	Sheet 1011-18
19	Sheet 1011-19
20	Sheet 1011-20



No.	Description
1	Sheet 1011-01
2	Sheet 1011-02
3	Sheet 1011-03
4	Sheet 1011-04
5	Sheet 1011-05
6	Sheet 1011-06
7	Sheet 1011-07
8	Sheet 1011-08
9	Sheet 1011-09
10	Sheet 1011-10
11	Sheet 1011-11
12	Sheet 1011-12
13	Sheet 1011-13
14	Sheet 1011-14
15	Sheet 1011-15
16	Sheet 1011-16
17	Sheet 1011-17
18	Sheet 1011-18
19	Sheet 1011-19
20	Sheet 1011-20

**GROUND FLOOR PLAN  
ZONING LOT 6**  
1" = 20'-0"  
31 JANUARY 2022  
212.12

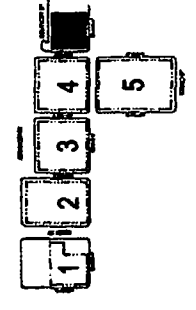
602

## LEGEND

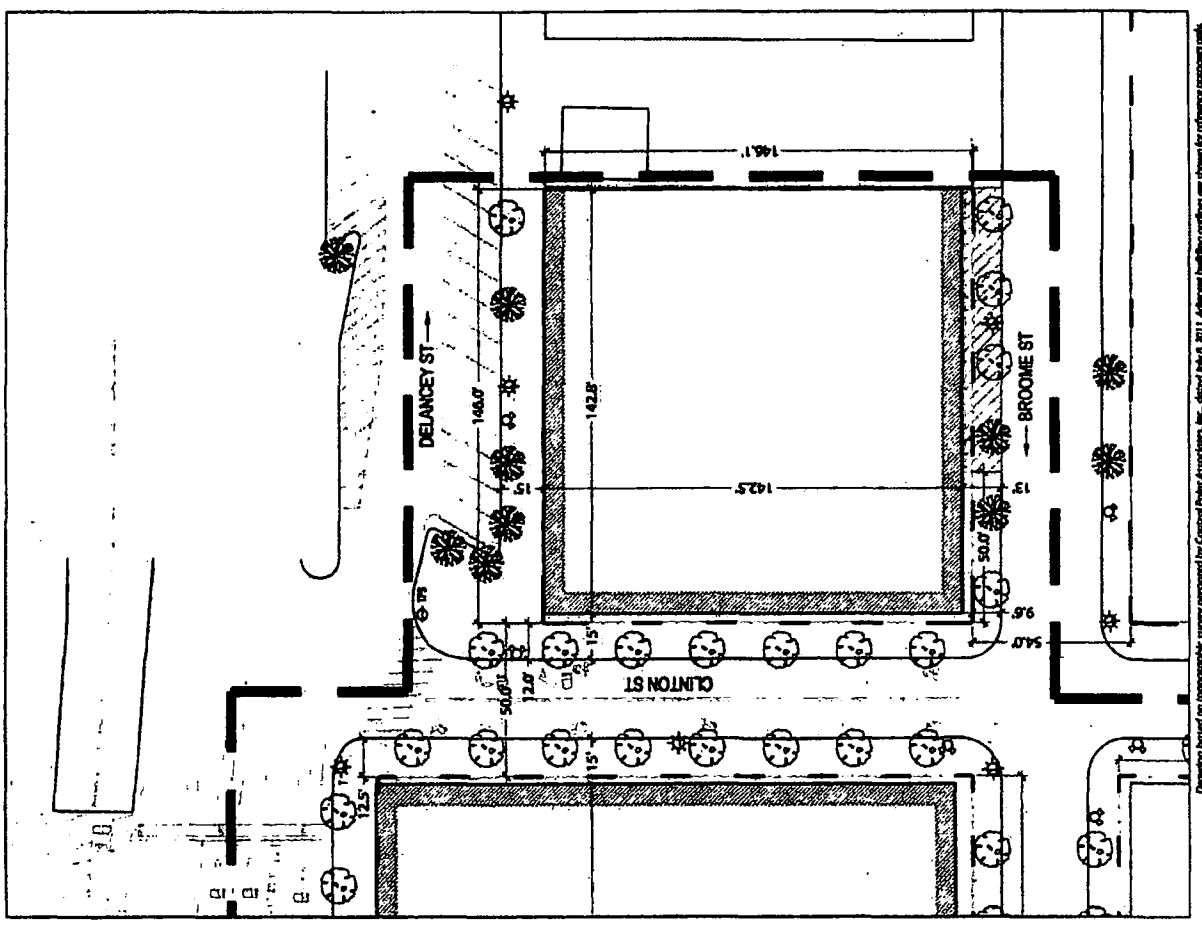
- |  |   |
|--|---|
|  | SEWARD PARK LARGE SCALE DEVELOPMENT BOUNDARY              |
|  | STREET CURB LINE  |
|  | TAX LOT LINE  |
|  | ILLUSTRATIVE STREET WALL LINE                             |
|  | EXISTING STREET TREE                                      |
|  | PROPOSED STREET TREE                                      |
|  | REQUIRED STREET TREE OVER EXISTING SUBTERRANEAN SPACE     |
|  | EXISTING FIRE HYDRANT                                     |
|  | EXISTING METAL STREET LIGHT                               |
|  | EXISTING TRAFFIC SIGNAL                                   |
|  | EXISTING TELEPHONE POLE                                   |
|  | EXISTING WOOD UTILITY POLE                                |
|  | EXISTING WOOD POLE WITH TRAFFIC SIGNAL                    |
|  | PUBLICLY-ACCESSIBLE SIDEWALK WIDENING AREA                |
|  | GROUND FLOOR FRONTAGE ZONE                                |
|  | CURB CUT ZONE   |
|  | ZONE OF RESTRICTED ACCESS (ZONE OF PROTECTED PEDESTRIANS) |

## GROUND FLOOR NOTES:

- Ground Floor Frontage**
- Building facades will maintain 80% transparency at ground level at elevations ranging from 2 feet to 12 feet above curb level.
  - Proposed street tree locations (as shown in all Site Plan drawings) are tentative and subject to change based on final approval by the Department of Parks and Recreation. Otherwise, street tree locations will comply with the requirements of ZFCR 28-41.
- Sidewalks**
- Sidewalks will be provided at a minimum width of 15', except along Broome Street, where a 12'-wide sidewalk will be provided.
- Loading**
- When required to curb cut location(s), curb cuts for required loading berths may be added within the zone shown on the Site Plan.



KEY SITE PLAN



Drawing based on topographic survey prepared by Central Park Associates, Inc., dated July 6, 2011. Adjacent building outlines are shown for reference purposes only.



# Seward Park Mixed-Use Development Project

**Reyer  
Blinder  
Belle**

Architects & Planners LLP  
41 West 111 Street  
New York, NY 10036  
Tel: 212 771 7800

Project No. 100-000000000  
Site No. 100-000000000  
Drawing No. 100-000000000

Project No. 100-000000000  
Site No. 100-000000000  
Drawing No. 100-000000000

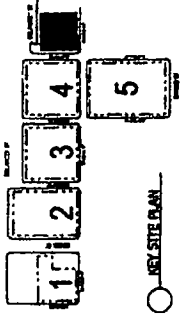
Project No. 100-000000000  
Site No. 100-000000000  
Drawing No. 100-000000000



PROJECT TITLE  
DATE  
SCALE  
DRAWN BY  
CHECKED BY  
DATE  
PROJECT NO.  
SHEET NO.

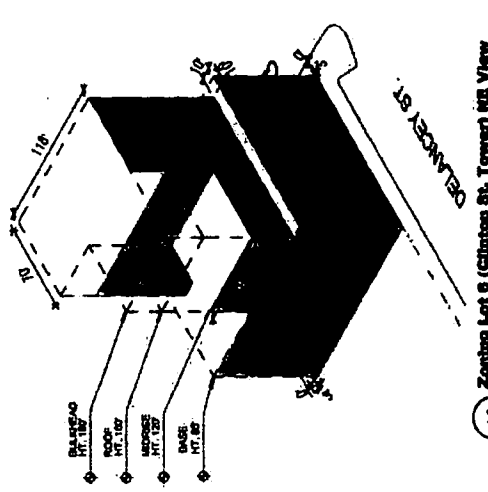
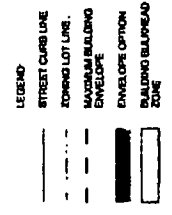
**BUILDING ENVELOPE  
DIAGRAMS**  
ZONING LOT 6

**603**

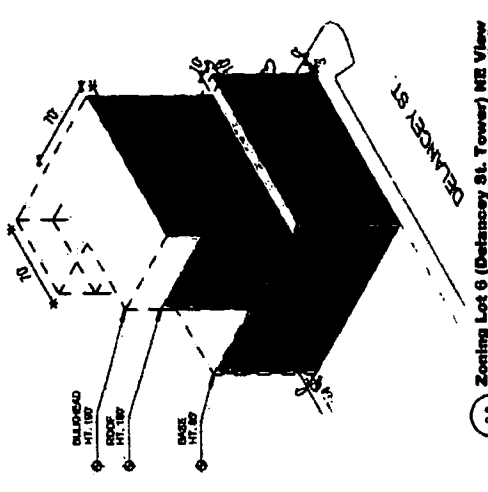


**DESIGN CONCEPTS**

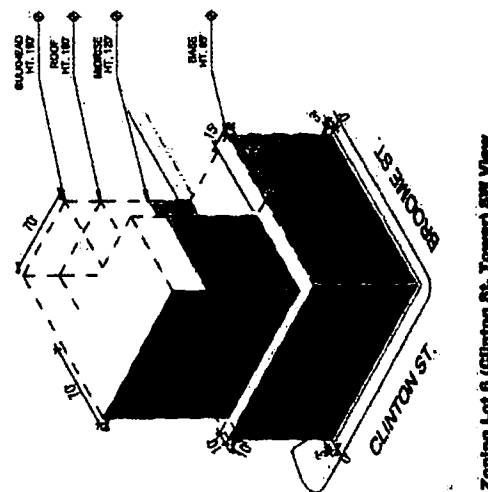
1. **Roof, height and setback**  
Envelope heights are additive to the Base Plane (see Sheet 604H) or the Average Core Level (see Sheet 604M).
2. The base or structural portion of Site 6 will have a minimum height of 60' and a maximum height of 85' on Delancey and Clinton Streets. On Broome Street beyond a distance of 50' from Clinton Street, the minimum base height on Broome Street may be either the minimum height of 60', but no lower than 25'.
3. The middle portions of all buildings developed pursuant to the approved Large-Scale General Development will have a maximum height of 120'.
4. For Zoning Lot 6, Options 1 and 2, the envelope option volume indicates the maximum extent of the base and defines portions of the building. The lower portion of the building may be located anywhere above the building base within the respective envelope options shown. The tower in Option 1 will be limited to a maximum length of 116' and a maximum width of 70'. The tower in Option 2 will be limited to a maximum length of 135' and a maximum width of 70'.
5. Elevator or stair shafts (including shafts; and vestibules not larger than 80 square feet in area providing access to a roof), roof water tanks and necessary mechanical equipment (including air conditioning, other than solar or wind energy systems, shall be permitted to exceed the maximum building (roof) heights approved in the LSCD, up to a maximum building height of 30 feet, provided that:
  - i. such obstructions shall be located not less than 10 feet from the street wall of a building, except that such obstructions need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such obstructions on a location shall not apply to elevator or stair shafts (including shafts or vestibules), provided the aggregate width of street walls of such shafts within 10 feet of a street wall, facing each street frontage, times their average height, in feet, does not exceed an area equal to four feet times the width, in feet, of the street wall of the building facing such frontage;
  - ii. all mechanical equipment shall be screened on all sides;
  - iii. such obstructions and screening are contained within a volume that complies with one of the following:
    - a. the product, in square feet, of the aggregate width of street walls of such obstructions facing each street frontage, times their average height, shall not exceed an area equal to eight feet times the width, in feet, of the street wall of the building facing such frontage; or
    - b. 20 percent of the lot coverage of the building.



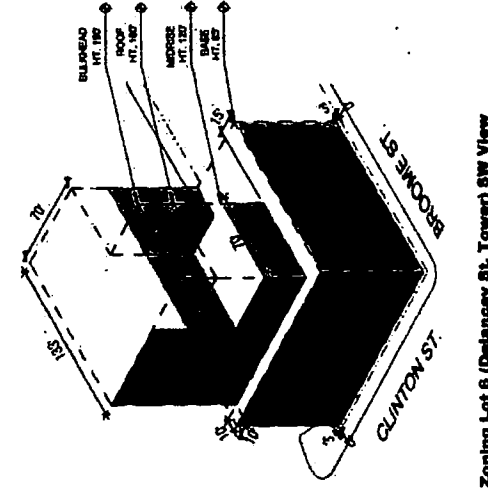
1.1 Zoning Lot 6 (Clinton St. Tower) NE View  
1"=80'-0"



2.1 Zoning Lot 6 (Delancey St. Tower) NE View  
1"=80'-0"



1.2 Zoning Lot 6 (Clinton St. Tower) SW View  
1"=80'-0"



2.2 Zoning Lot 6 (Delancey St. Tower) SW View  
1"=80'-0"

Option 1

Option 2

# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP

11 East 11 Street  
New York, NY 10003  
Tel: 212 677 1100  
Fax: 212 677 1101

New York City Department of  
City Planning  
110 West Street  
New York, NY 10038  
Tel: 212 312 3100  
Fax: 212 312 3101

New York City Department of  
City Planning  
110 West Street  
New York, NY 10038  
Tel: 212 312 3100  
Fax: 212 312 3101

Project No.: 2010-0001  
Drawing No.: 2010-0001-01

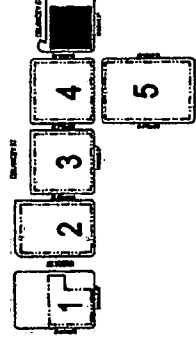
Scale: As Shown  
Date: 03/23/10

Client: Seward Park  
110 West Street  
New York, NY 10038  
Tel: 212 312 3100  
Fax: 212 312 3101

**BASE PLANE CALCULATION (CR 12-10):**  
 BASE PLANE = A.C.L. ELEVATION + LOT COVERAGES / ZONING LOT AREA %  
 CORNER LOT 6.1:  $23.27' + (4.43 \text{ SF} / 10.423 \text{ SF} \%) = 6.89'$   
 CORNER LOT 6.2:  $23.07' + (4.28 \text{ SF} / 10.423 \text{ SF} \%) = 15.12'$   
 THROUGH LOT 8:  $24.25' + (0.07 \text{ SF} / 10.423 \text{ SF} \%) = 8.43'$   
**SITE 8 BASE PLANE: 23.40'**

### LEGEND

- STREET CURB LINE
- - - ZONING LOT LINE
- - - ZONING LOT DIVISION LINES

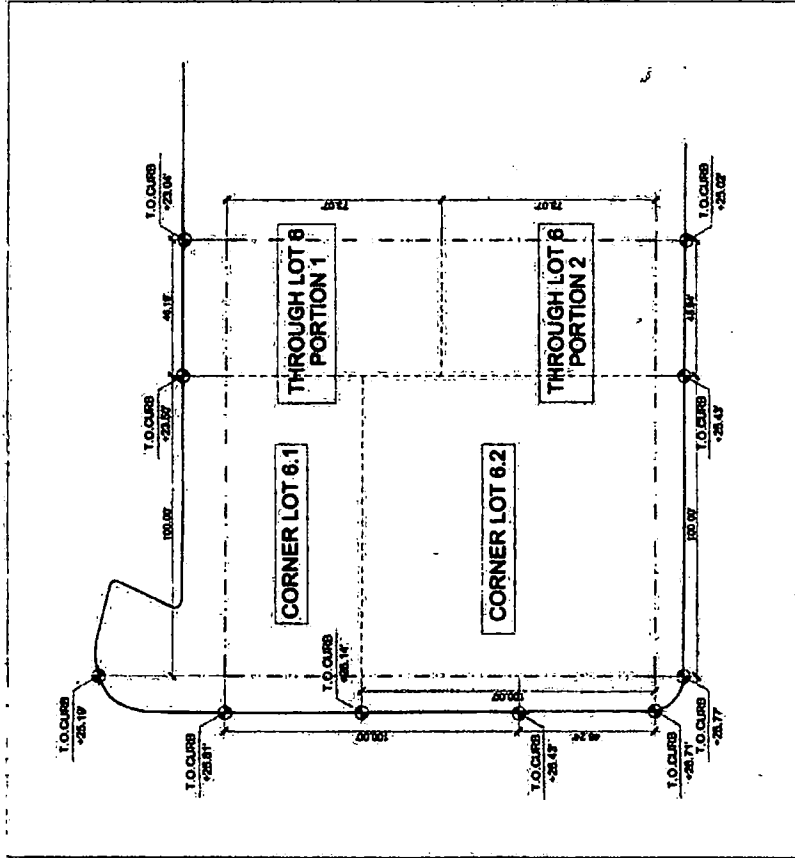


KEY SITE PLAN

**BASE PLANE DIAGRAM  
ZONING LOT 8**

Block	170004
Lot	21 MARCH 2012
Project No.	2010-0001
Drawing No.	2010-0001-01

Drawings based on appropriate survey prepared by General Pines Associates, Inc., dated 1-24-08. All dimensions to be verified in the field.



# Seward Park

## Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architects & Planners LLP  
41 Canal Street  
New York, NY 10014  
Tel: 212.771.2000

New York State Professional Seal  
Professional Seal of the Architect  
Professional Seal of the Engineer  
Professional Seal of the Planner  
Professional Seal of the Landscape Architect  
Professional Seal of the Interior Designer  
Professional Seal of the Civil Engineer  
Professional Seal of the Mechanical Engineer  
Professional Seal of the Electrical Engineer  
Professional Seal of the Chemical Engineer  
Professional Seal of the Surveyor  
Professional Seal of the Geologist  
Professional Seal of the Environmental Engineer  
Professional Seal of the Environmental Scientist  
Professional Seal of the Environmental Planner  
Professional Seal of the Environmental Designer

Project No. 10014-001  
Site No. 10014-001  
Scale: 1" = 100'-0"

No.	Description	Date



NO.	DATE	DESCRIPTION

DATE	DESCRIPTION

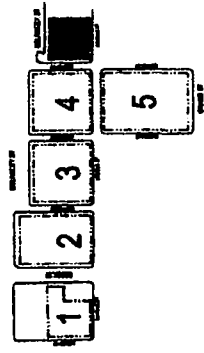
**604N**

**AVERAGE CURB LEVEL (CR12-10):**  
ACL EL. = (T.O. CURB 1 + T.O. CURB 2) / 2

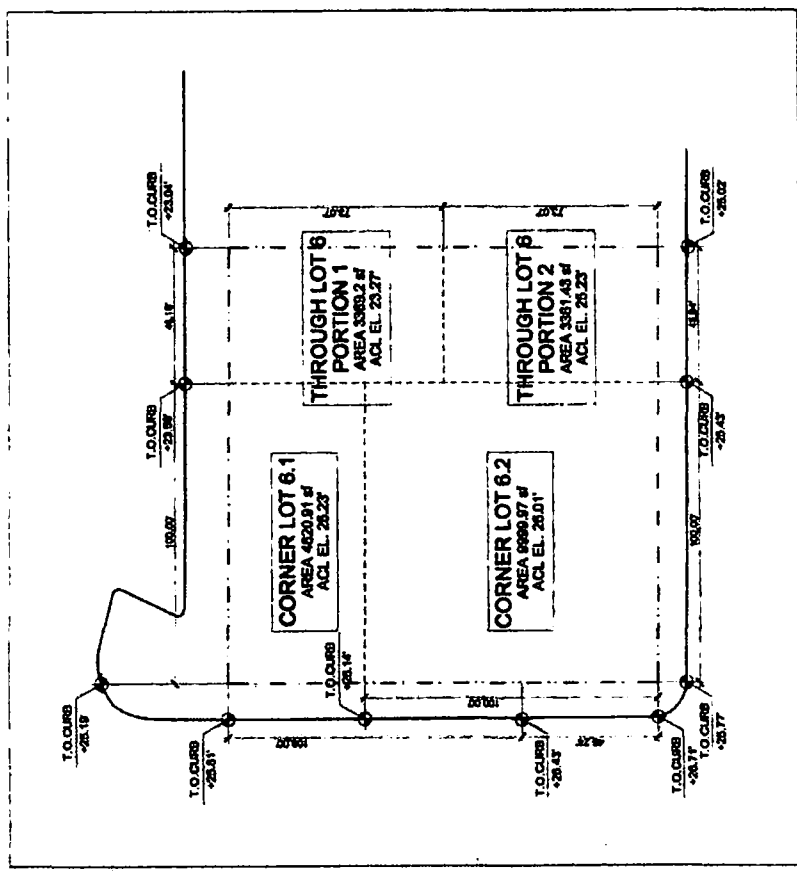
**SITE 6 A.C.L. CALCULATIONS:**  
CORNER LOT 6.1:  $(25.81 + 26.43) / 2 + (25.19 + 23.07) / 2 / 2 = 25.23$   
CORNER LOT 6.2:  $(25.44 + 23.71) / 2 + (25.17 + 23.43) / 2 / 2 = 25.01$   
THROUGH LOT 6.1:  $(25.00 + 23.01) / 2 = 23.27$   
THROUGH LOT 6.2:  $(25.43 + 23.07) / 2 = 25.27$

### LEGEND

- STREET CURB LINE
- - - ZONING LOT LINE
- ZONING LOT DIVISION LINES



KEY SITE PLAN



Drawing based on topographic survey prepared by Carroll Peeler Associates, Inc., dated July 8, 2011. All dimensions to be verified in the field.

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architect & Planners LLP  
41 West 11 Street  
New York, NY 10011  
212.377.7800

New York City Department of City Planning  
119 William Street  
New York, NY 10038  
212.312.3200

New York City Department of City Planning  
119 William Street  
New York, NY 10038  
212.312.3200

New York City Department of City Planning  
119 William Street  
New York, NY 10038  
212.312.3200

## ZONING REQUIREMENTS:

MAX. BASE HEIGHT (ZRS-24):  
PERMITTED: 80 FT. ABOVE BASE PLANE ALONG  
STREETS;  
80 FT. ABOVE BASE PLANE WITHIN  
100 FT. OF A WIDE STREET  
PROPOSED: 80 FT. ABOVE BASE PLANE ALONG  
ALL STREETS

MIN. RETRACK FROM STREET WALL (ZRS-24):  
REQUIRED: 10 FT. ALONG WIDE STREETS  
15 FT. ALONG NARROW STREETS  
PROPOSED: 10 FT. ALONG DELANCEY ST. AND  
CLINTON ST.  
15 FT. ALONG BROOME ST.

MAX. BUILDING HEIGHT (ZRS-24):  
PERMITTED: 100 FT. ABOVE BASE PLANE ALONG  
STREETS;  
100 FT. ABOVE BASE PLANE WITHIN  
100 FT. OF A WIDE STREET  
PROPOSED: 100 FT. (100 FT. INCL. BUILD-READ)

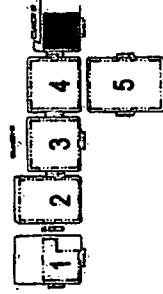
REAR YARD SETBACK (ZRS-4-3):  
REQUIRED: 10 FT.  
PROPOSED: NONE

REAR YARD EQUIVALENT (ZRS-4-3):  
REQUIRED: 60 FT.  
PROPOSED: NONE

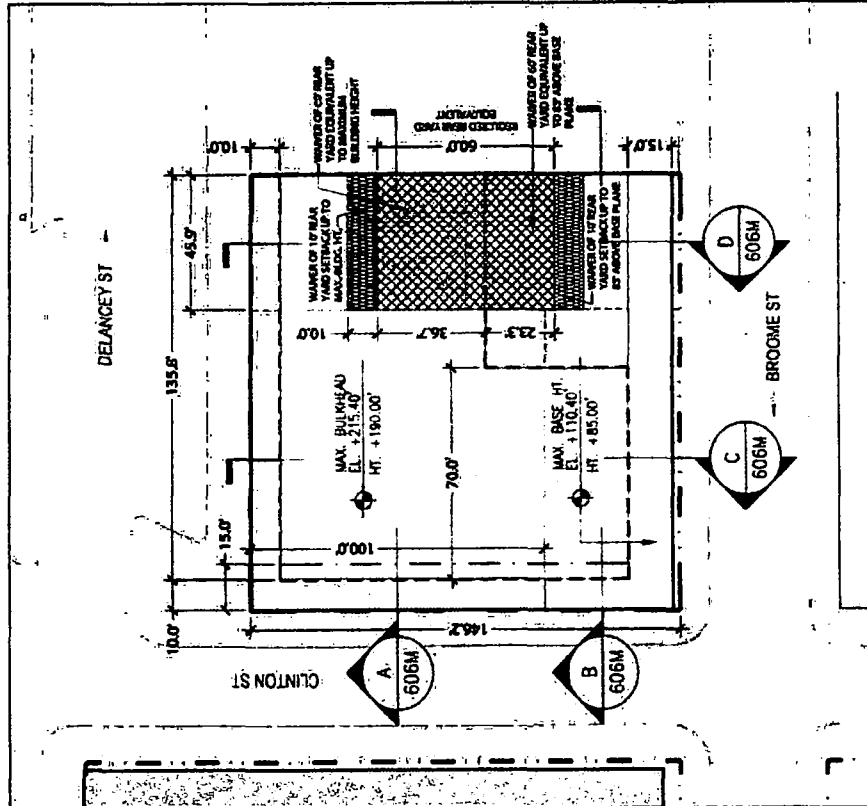
## LEGEND

- STREET CURB LINE
- ZONING LOT LINE
- ZONING LOT DIVISION LINE
- MAXIMUM BLDG. BASE ENVELOPE
- MAXIMUM TOWER & MIDRISE ENVELOPE
- REQUIRED SETBACK DISTANCE
- NON-COMPLIANT HEIGHT AND SETBACK  
AREA OF MAXIMUM BUILDING ENVELOPE
- NON-COMPLIANT AREA OF REQUIRED  
REAR YARD EQUIVALENT TO BE WAVED  
UNDER SECTION 247A-7-3
- NON-COMPLIANT AREA OF REQUIRED  
REAR YARD EQUIVALENT TO BE WAVED  
UNDER SECTION 247A-7-3  
ZIPPING

ALL DEVELOPER HEIGHTS ABOVE BASE PLANE



KEY SITE PLAN



Developing based on topographic survey prepared by Conrad Poirer Associates, Inc., dated July 8, 2011. All proposed building footprints are shown for reference purposes only.

1 ZONING ACTIONS PLAN, ZONING LOT 6  
Scale: 1" = 40'-0"

REGULATED ARCHITECT  
STATE OF NEW YORK  
100 W. WASHINGTON ST.  
NEW YORK, NY 10038  
212.312.3200

DATE: 07/11/11  
BY: [Signature]  
PROJECT: SEWARD PARK

ZONING ACTIONS PLAN  
(MIXED-USE)  
ZONING LOT 6

Scale: 1" = 40'-0"

605M

# Seward Park Mixed-Use Development Project

**Reyer  
Blunkert  
Belle**

Architect & Planner LLP  
11 West 11th Street  
New York, NY 10011  
212.777.1900

New York City Department of Planning  
100 Nassau Street  
New York, NY 10038  
212.312.3200

New York City Department of Buildings  
100 Nassau Street  
New York, NY 10038  
212.312.3200

City of New York  
100 Nassau Street  
New York, NY 10038  
212.312.3200

## ZONING REQUIREMENTS:

**MAX. GROSS HEIGHT (Z033-431):**  
PERMITTED: LESSER OF 4 STORES OR 48 FT. ABOVE  
AVERAGE CURB LEVEL.  
PROPOSED: 48 FT. ABOVE AVERAGE CURB LEVEL.

**MIN. INITIAL SETBACK DISTANCE (Z033-431):**  
REQUIRED: 15 FT. FROM STREET LINE ALONG WIDE  
STREETS  
20 FT. FROM STREET LINE FROM  
NARROW STREETS  
PROPOSED: 10 FT. FROM STREET LINE ALONG WIDE  
STREETS AND CLINTON ST.  
15 FT. FROM STREET LINE ALONG  
NARROW STREETS, EXCEPT CLINTON ST.

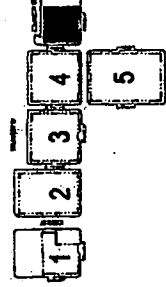
**SKY EXPOSURE PLANE (Z033-431):**  
REQUIRED: 25 FT. 8" ALONG WIDE STREETS  
25 FT. 8" ALONG NARROW STREETS  
PROPOSED: NONE

**REAR YARD EQUIVALENT (Z033-283):**  
REQUIRED: 40 FT.  
PROPOSED: NONE

## LEGEND

- STREET CURB LINE
- ZONING LOT LINE
- ZONING LOT DIVISION LINE
- MAXIMUM BLDG. BASE ENVELOPE
- MAXIMUM TOWER & MIDDLE ENVELOPE
- REQUIRED INITIAL SETBACK DISTANCE
- NON-COVERED HEIGHT AND SETBACK  
AREA OR MAXIMUM HEIGHT  
TO BE MAINTAINED SECTION Z033-431
- NON-COVERED HEIGHT AND SETBACK  
AREA OF REAR YARD TO BE MAINTAINED  
UNDER SECTION Z033-431

ALL DEVELOPMENT HEIGHTS ABOVE AVERAGE CURB LEVEL.



KEY SITE PLAN



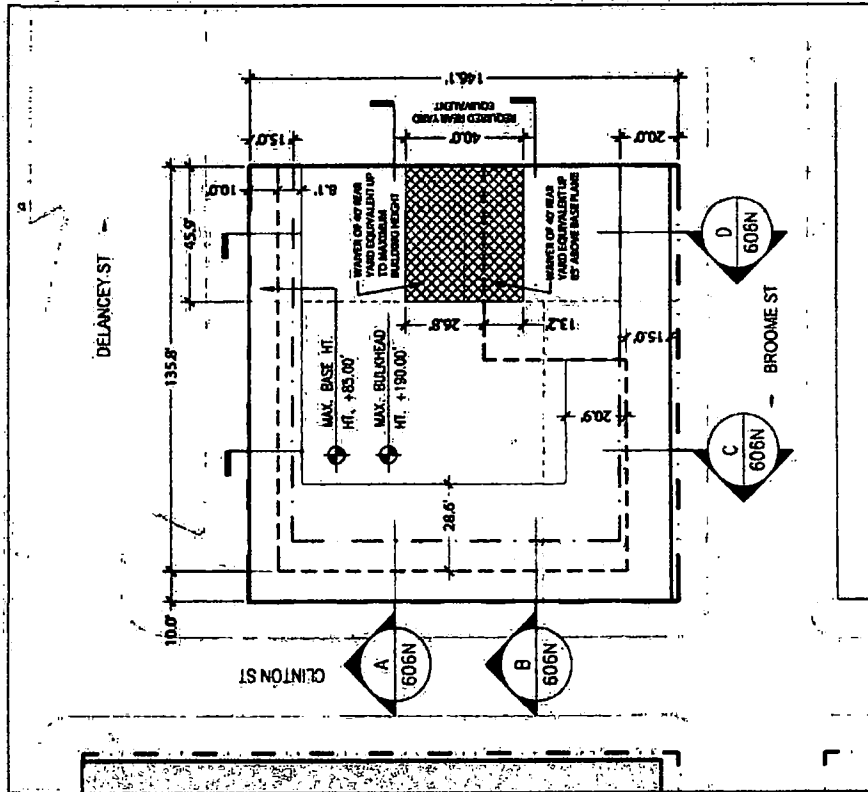
NO. 11778  
REYER BLUNKERT BELLE  
REGISTERED ARCHITECT  
STATE OF NEW YORK

Project No. \_\_\_\_\_  
Date of Issue \_\_\_\_\_  
Date of Revision \_\_\_\_\_

ZONING ACTIONS PLAN  
(NON-RESIDENTIAL)  
ZONING LOT 6

Scale: 1" = 40'-0"

**605N**



Drawing based on topographic survey prepared by Central Point Associates, Inc., dated July 6, 2011. Adjacent building footprints are shown for reference purposes only.

ZONING ACTIONS PLAN: ZONING LOT 6  
Scale: 1" = 40'-0"

# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

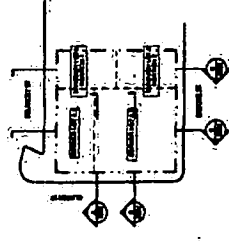
Architects & Planners LLP  
44 West 14 Street  
New York, NY 10011  
Tel: 212 677 2000

Senior Vice President  
120 West 11th Street  
New York, NY 10011  
Tel: 212 677 2000

Senior Vice President  
120 West 11th Street  
New York, NY 10011  
Tel: 212 677 2000

Senior Vice President  
120 West 11th Street  
New York, NY 10011  
Tel: 212 677 2000

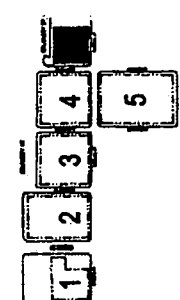
- ZONING REGULATIONS FOR MIXED-USE BUILDINGS (2006-04, 2006-03, OR 24-0039)**
- Proposed Zoning District: B8 with C24 overlay
  - Min. Permitted Base Height: 30 FT.
  - Min. Permitted Base Height: 30 FT. (along Water Street)
  - Min. Permitted Base Height: 30 FT. (along 100 FT. of Water Street)
  - Min. Permitted Bldg. Height: 120 FT. (on Water Street)
  - Min. Permitted Bldg. Height: 120 FT. (within 100 FT. of Water Street)
  - Min. Permitted Setback from Street Wall: 18 FT. (along Water Street)
  - Min. Permitted Setback from Street Wall: 10 FT. (along Water Street)
  - Required Clear Yard Setback: 10 FT.
  - Required Clear Yard Elevation: 0.0 FT.



**BASE PLANE SECTION**

REFER TO SHEET GRM FOR BASE PLANE DIAGRAM FOR ZONING LOT 8

- LEGEND**
- STREET CURVE LINE
  - ZONING LOT LINE
  - ZONING LOT DIMENSIONS
  - MAXIMUM PROPOSED BUILDING DEVELOPMENT
  - MAXIMUM PROPOSED BUILDING DEVELOPMENT - ARCHITECTURAL, PLANNING ONLY
  - CLOSER PROPOSED FOR ARCHITECTURAL, PLANNING ONLY
  - PROPOSED HEIGHT AND SETBACK AREA OF MAXIMUM BUILDING DEVELOPMENT
  - AREA OF MAXIMUM BUILDING DEVELOPMENT TO BE SHOWN UNDER SECTION 2(A)(2), 2(A)(3), 2(A)(4), 2(A)(5), 2(A)(6), 2(A)(7), 2(A)(8), 2(A)(9), 2(A)(10), 2(A)(11), 2(A)(12), 2(A)(13), 2(A)(14), 2(A)(15), 2(A)(16), 2(A)(17), 2(A)(18), 2(A)(19), 2(A)(20), 2(A)(21), 2(A)(22), 2(A)(23), 2(A)(24), 2(A)(25), 2(A)(26), 2(A)(27), 2(A)(28), 2(A)(29), 2(A)(30), 2(A)(31), 2(A)(32), 2(A)(33), 2(A)(34), 2(A)(35), 2(A)(36), 2(A)(37), 2(A)(38), 2(A)(39), 2(A)(40), 2(A)(41), 2(A)(42), 2(A)(43), 2(A)(44), 2(A)(45), 2(A)(46), 2(A)(47), 2(A)(48), 2(A)(49), 2(A)(50), 2(A)(51), 2(A)(52), 2(A)(53), 2(A)(54), 2(A)(55), 2(A)(56), 2(A)(57), 2(A)(58), 2(A)(59), 2(A)(60), 2(A)(61), 2(A)(62), 2(A)(63), 2(A)(64), 2(A)(65), 2(A)(66), 2(A)(67), 2(A)(68), 2(A)(69), 2(A)(70), 2(A)(71), 2(A)(72), 2(A)(73), 2(A)(74), 2(A)(75), 2(A)(76), 2(A)(77), 2(A)(78), 2(A)(79), 2(A)(80), 2(A)(81), 2(A)(82), 2(A)(83), 2(A)(84), 2(A)(85), 2(A)(86), 2(A)(87), 2(A)(88), 2(A)(89), 2(A)(90), 2(A)(91), 2(A)(92), 2(A)(93), 2(A)(94), 2(A)(95), 2(A)(96), 2(A)(97), 2(A)(98), 2(A)(99), 2(A)(100)



**606M**



Scale: 1/8" = 1'-0"

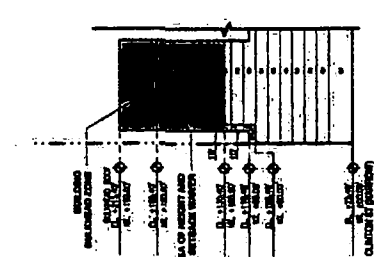
Project No. 21-00000000

Sheet No. 606M

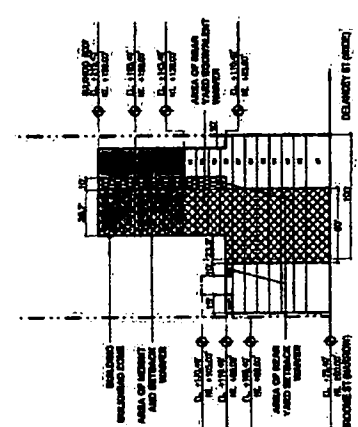
Date: 07/08/11

Project Name: SEWARD PARK

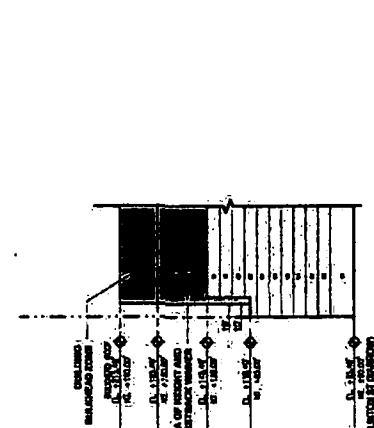
Client: PERRY ASSOCIATES, INC.



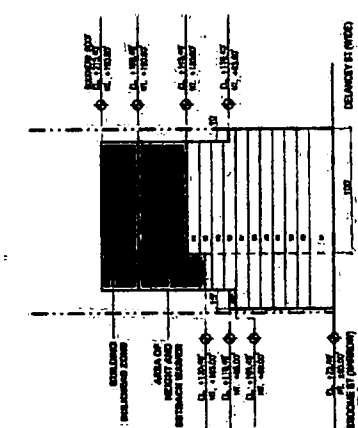
**SECTION A**  
1/8" = 1'-0"



**SECTION B**  
1/8" = 1'-0"



**SECTION C**  
1/8" = 1'-0"



**SECTION D**  
1/8" = 1'-0"

Drawings based on topographic survey prepared by Conrad Perry Associates, Inc., dated July 8, 2011.

Vertical Elevation based on the benchmark of Metropolitan Church.

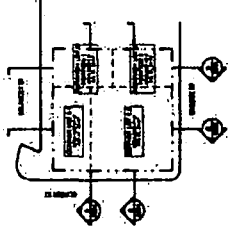
# Seward Park Mixed-Use Development Project

**Beyer  
Blinder  
Belle**

Architect & Planner LLP  
41 West 21<sup>st</sup> Street  
New York, NY 10011  
212 677 2000

Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000  
Site Plan No. 2011-000000000

**ZONING REGULATIONS FOR  
NON-RESIDENTIAL BUILDINGS (ZONING)**  
Proposed Zoning District: R8 with C4-3 Overlay  
Min. Permitted Floor Height: 35 FT. or 6 stories, whichever is less.  
Required Bay Exposure Ratio: 1:1 (on 100' Street)  
Min. Window Exposure Ratio: 1:1 (on 100' Street)  
Min. Window Exposure Ratio: 1:1 (on 100' Street)  
Min. Window Exposure Ratio: 1:1 (on 100' Street)  
Required Floor Area: 50,000 sq. ft.  
Required Floor Area: 50,000 sq. ft.  
Required Floor Area: 50,000 sq. ft.  
Required Floor Area: 50,000 sq. ft.



**SECTION A**  
1/2" = 1'-0"

**SECTION B**  
1/2" = 1'-0"

**SECTION C**  
1/2" = 1'-0"

**SECTION D**  
1/2" = 1'-0"

**SECTION E**  
1/2" = 1'-0"

**SECTION F**  
1/2" = 1'-0"

**SECTION G**  
1/2" = 1'-0"

**SECTION H**  
1/2" = 1'-0"

**SECTION I**  
1/2" = 1'-0"

**SECTION J**  
1/2" = 1'-0"

**SECTION K**  
1/2" = 1'-0"

**SECTION L**  
1/2" = 1'-0"

**SECTION M**  
1/2" = 1'-0"

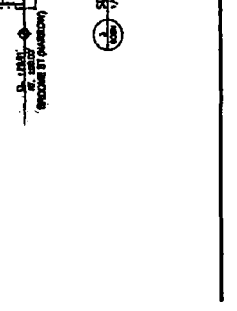
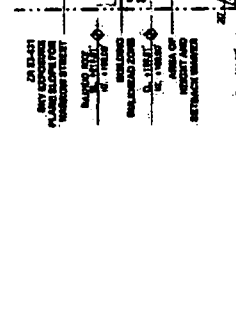
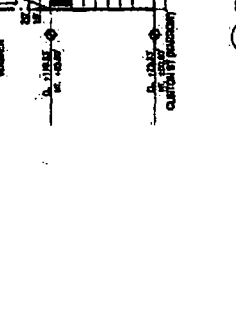
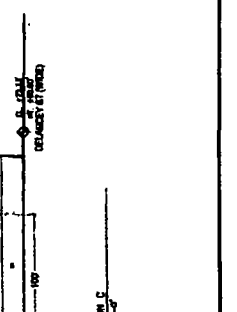
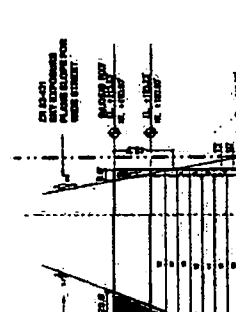
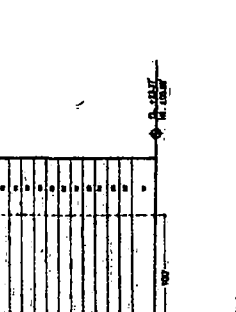
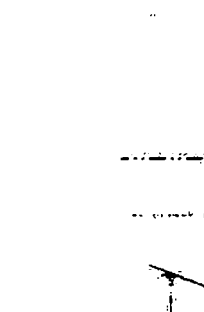
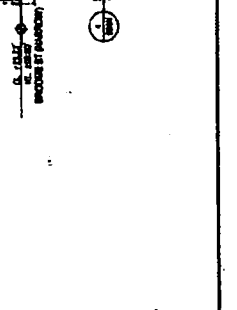
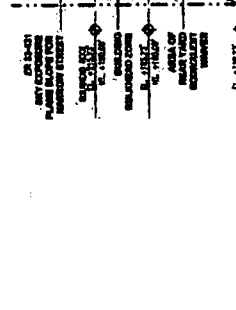
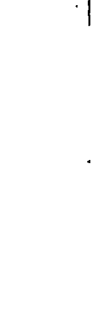
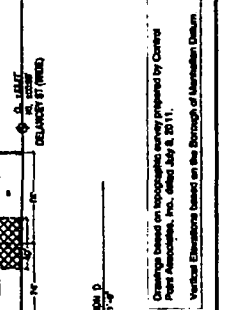
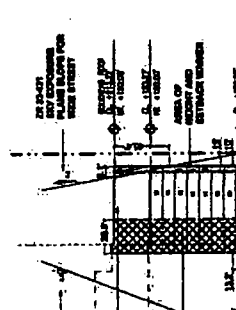
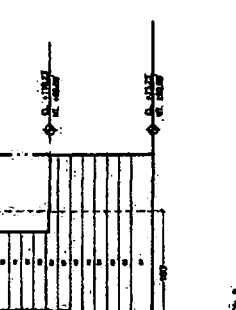
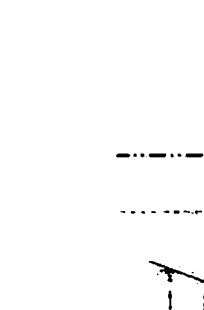
**SECTION N**  
1/2" = 1'-0"

**SECTION O**  
1/2" = 1'-0"

**SECTION P**  
1/2" = 1'-0"

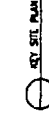
**SECTION Q**  
1/2" = 1'-0"

**SECTION R**  
1/2" = 1'-0"



**ZONING ACTIONS  
SECTIONS  
(NON-RESIDENTIAL)  
ZONING LOT 6**

**606N**



Drawings based on topographic survey prepared by Corvus  
Part Associates, Inc., dated July 8, 2011.

Vertical Elevations based on the Strength of Manhattan Datum

## **EXHIBIT D**

### **OPERATING RULES FOR OPEN SPACE**

The Open Space is a privately-owned space required to serve as a neighborhood open space and provide amenities for residents, workers, and the general public. Declarant shall not impose or apply any rules or restrictions upon public use of the Open Space which vary from or are more restrictive than those set forth below, except as authorized pursuant to a modification to this Exhibit D made pursuant to Section 13 of the Declaration.

#### **General Guidelines**

- All users should be respectful of others and mindful of how activity and noise affects other users and residents in immediately adjacent buildings.
- All users are to heed directions or requests made by authorized building management.
- New York City laws and ordinances are in full force and effect at all times.

#### **General Prohibitions**

For the safety and enjoyment of everyone, the following types of behavior are prohibited:

- Sleeping, loitering, or disorderly conduct.
- Smoking, drinking of alcoholic beverages.
- Open flames or barbequing.
- Shopping carts, obstructions or unattended packages.
- Loud music including musical instruments, radios, stereos, or use of amplification equipment.
- Camping or the erection of tents or other structures; sleeping bags, tarps, or other covering on the property.
- Lying down on the ground, walkways, or benches; storage or placement of personal property in areas that unreasonably interfere with the use of benches and walkways by others.
- Panhandling or entertaining for the purposes of solicitation and/or publicity.



- Large assemblies or group gatherings except by prior permit.
- Defacement of property and littering.
- Securing bikes to objects other than bike racks.
- Ball playing against building walls, public artwork or landscape features; no tree climbing.

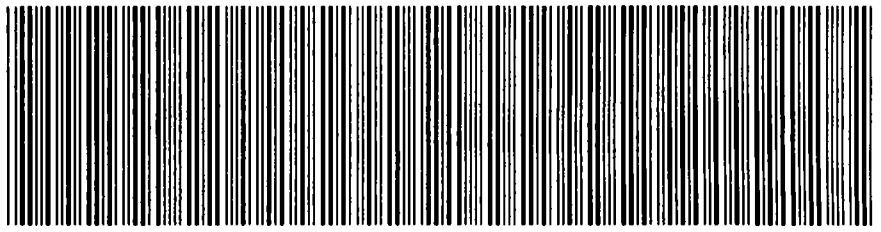
In addition:

- Pets must be kept on a leash at all times and are not permitted on the grass or in the planted areas. Owners are expected to clean up after their pets.
- Skateboards, bikes, rollerblades, and roller skates are permitted in designated areas only.

Play Features Area Prohibitions

- Adults who are not accompanied by or supervising children are prohibited.

**NYC DEPARTMENT OF FINANCE  
OFFICE OF THE CITY REGISTER**



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**SUPPORTING DOCUMENT COVER PAGE**

**PAGE 1 OF 1**

**Document ID: 2015031201076001**

**Document Date: 03-05-2015**

**Preparation Date: 03-12-2015**

**Document Type: SUNDRY MISCELLANEOUS**

**SUPPORTING DOCUMENTS SUBMITTED:**

**Page Count**

**RECORDING FEE EXEMPTION DOCUMENTATION**

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